

Basic Conditions Statements

Northaw and Cuffley Neighbourhood Plan

May 2022

Prepared for:

Northaw and Cuffley Parish Council

Prepared by:

AECOM Limited
Aldgate Tower
2 Lemn Street
London E1 8FA
United Kingdom
aecom.com

© 2022 AECOM Limited. All Rights Reserved.

This document has been prepared by AECOM Limited (“AECOM”) for sole use of our client (the “Client”) in accordance with generally accepted consultancy principles, the budget for fees and the terms of reference agreed between AECOM and the Client. Any information provided by third parties and referred to herein has not been checked or verified by AECOM, unless otherwise expressly stated in the document. No third party may rely upon this document without the prior and express written agreement of AECOM.

Table of Contents

1. Introduction	5
2. Basic Conditions.....	6
3. Legal Requirements	7
4. How the Neighbourhood Plan meets the Basic Conditions ...	10
National Policies and Guidance	10
Sites	13
Environment and Design	13
Local Employment.....	13
Transport and Getting Around	14
Community Wellbeing	14
5. Contribution to the achievement of Sustainable Development	15
6. General Conformity with the Council’s Strategic Policies in the Development Plan for the area	18
7. European Union Obligations	22
Strategic Environment Assessments (SEA)	22
Habitats Regulations Assessment.....	23
Human Rights Requirements	23
8. Conclusions.....	24
Appendix A AECOM Design Guide	25
Appendix B Saved Strategic Policies Welwyn Hatfield District Plan (2005).....	102
Appendix C Strategic Environmental Assessment Screening.....	106
Appendix D Local Green Spaces Assessment.....	147

Figures

Figure 3.1 Neighbourhood Area	8
Figure 8.1 Local Green Space Designations.....	149

Tables

Table 1 Conformity with national policies.....	10
Table 2 Potential effect on sustainable development in the Neighbourhood Area	15
Table 3 Contribution to Sustainable Development.....	16
Table 4 Conformity with Development Plan.....	19

1. Introduction

- 1.1 The following pages set out how the Northaw and Cuffley Neighbourhood Plan (hereinafter, the Plan) proposal fulfils the “Basic Conditions” of Neighbourhood Planning and other considerations in order to satisfy the requirements set out in legislation and pass the independent examination.
- 1.2 This Basic Conditions statement explains how the Plan proposal as a whole and the policies it contains meets the Basic Conditions and other legal tests.
- 1.3 The Plan should also be read in conjunction with the separate Consultation Statement which sets out the consultation and engagement with local residents, businesses and interested parties during the plan’s preparation.

2. Basic Conditions

2.1 Schedule 4B of the Town and Country Planning Act (Para 8) sets out the following conditions which a Neighbourhood plan is required to meet.

2.2 The examiner must consider the following:

- a) whether the Neighbourhood Plan proposal meets the Basic Conditions
- b) whether the area for any referendum should extend beyond the neighbourhood to which the neighbourhood plan proposal relates and

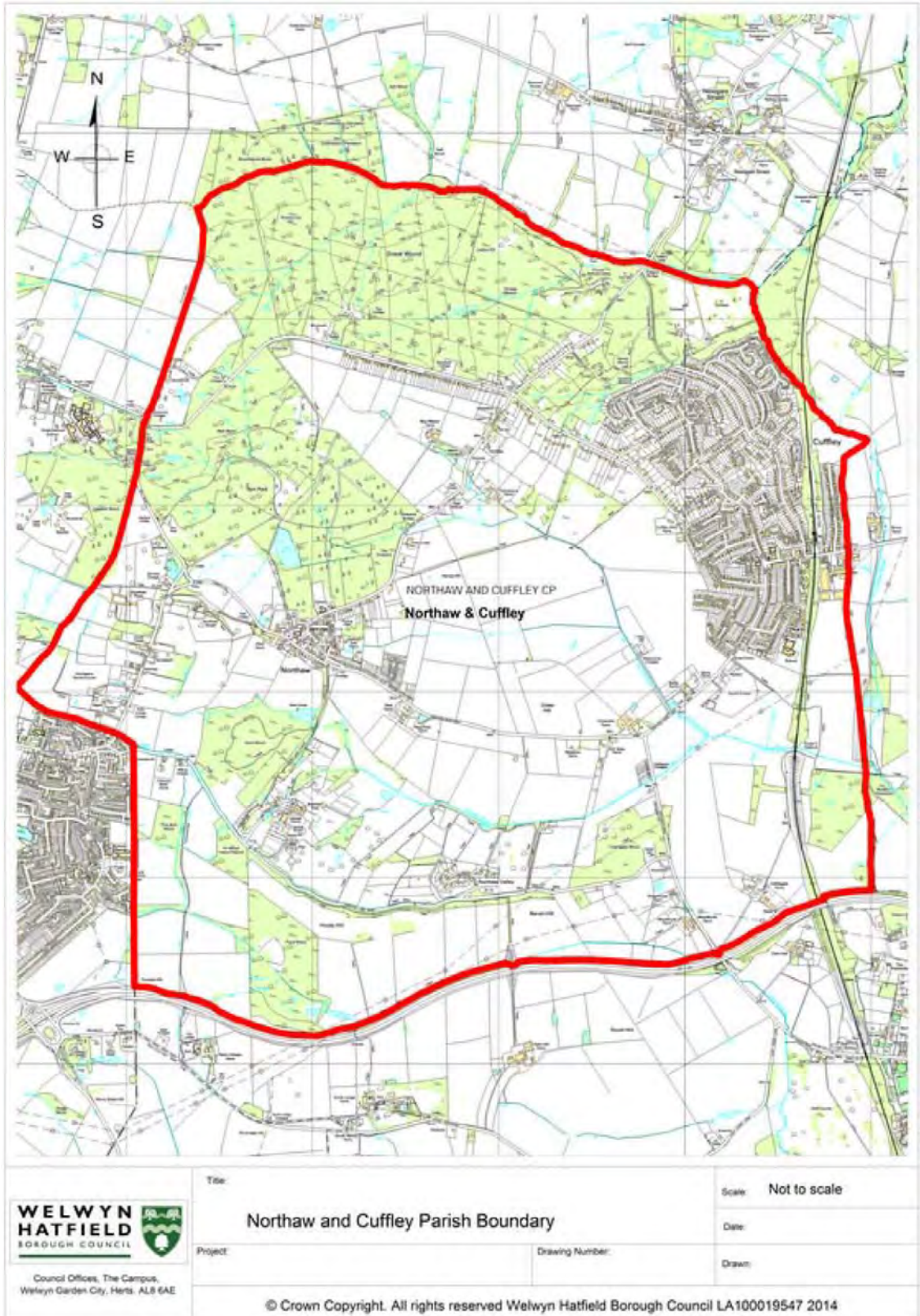
The Neighbourhood Plan proposal meets the Basic Conditions if:

- a) having regard to national planning policies and advice contained in guidance issued by the Secretary of State, it is appropriate to make the Neighbourhood Development Plan.
- b) the making of the Neighbourhood Development Plan is in general conformity with the strategic policies contained in the development plan of Welwyn Hatfield Borough Council (herein after “the Borough Local Plan”).
- c) the making of the Neighbourhood Development Plan contributes to sustainable development.
- d) the making of the Neighbourhood Development plan does not breach and is otherwise compatible with EU obligations.

3. Legal Requirements

- 3.1 This section summarises how the Plan complies with the Localism Act 2011.
- 3.2 The Plan is being submitted by a qualifying body in accordance with the Localism Act 2011. Following an application from Northaw and Cuffley Parish Council, Welwyn Hatfield Borough Council designated a Neighbourhood Area for Northaw and Cuffley for the preparation of a Neighbourhood Plan. The designated Neighbourhood Area is known as the Northaw and Cuffley Neighbourhood Area. This followed a seven-week consultation period which concluded on 13th August 2014.
- 3.3 The Plan has been prepared and consulted on by Northaw and Cuffley Parish Council and an active steering group. The current steering group was formed in December 2020, which initially included 16 residents and 6 Parish Councillors.
- 3.4 The Plan covers the current electoral ward of Northaw and Cuffley, which forms the majority of the residential areas of the Neighbourhood Area (see Figure 3.1 overleaf).

Figure 3.1 Neighbourhood Area



- 3.6 The Plan proposal relates to planning matters and contains policies relating to the use and development of land and has been prepared in accordance with the statutory requirements and processes set out in the Neighbourhood Planning Regulations 2012 (as amended).
- 3.7 The Plan covers five (5) main themes, with the first section (Sites) covering two (2) specific development locations. In total the Plan contains fourteen (14) policies for the future development of the Area and is supported by an accompanying Design Code and Guidance (Appendix 2 of the Plan).
- 3.8 The Plan sets out policies to ensure that any development in the Neighbourhood Area is supported by appropriate employment and community facilities in order to make the community more sustainable.
- 3.9 The Plan also sets out a series of “Projects” that have been identified to help support the realisation of the Vision and fulfilment of the Plan’s Objectives. The projects cover a wide range of local priorities and are anticipated to be delivered in partnership with a variety of agencies. These projects do not form part of the statutory policies (see Appendix 1 of the Plan).
- 3.10 The effective period of the Plan is from 2022 – 2036, thereby aligning it with the end date of the emerging Borough Local Plan.
- 3.11 The Plan relates only to the Neighbourhood Area and there are no other Neighbourhood Plans adjacent to the Parish. Therefore we consider it appropriate that any subsequent Referendum should apply to the electoral ward of Northaw and Cuffley.

4. How the Neighbourhood Plan meets the Basic Conditions

National Policies and Guidance

- 4.1 The following section shows how the Plan has regard to the relevant policies within the National Planning Policy Framework (NPPF) 2021, together with the National Planning Policy Guidance (NPPG) first published by the Government in April 2014 (as amended) in relation to the formation of Neighbourhood Plans. Table 1 sets out how each policy has regard to the NPPF. The paragraphs (sorted by the key Themes of the Plan) are considered the most relevant to the policy and are not intended to be an exhaustive list of every possible relevant paragraph in the NPPF.
- 4.2 Below is a further explanation of how the NP policies have regard to the requirements of the NPPF.

Table 1 Conformity with national policies

Policy Reference and Title	Relevant NPPF Paragraph(s)	Comments on conformity
Vision and Objectives <ul style="list-style-type: none"> • Vision • Objectives 	Paragraphs 11 (presumption in favour of sustainable development), 15 (plan-led), 16 (plan making) and 29 (shared vision)	The Plan has involved the preparation and testing of a shared vision for the area. It is a positive vision for the future of the area, with accompanying objectives for contributing to the achievement of sustainable development that is both aspirational and deliverable.
Neighbourhood Plan Key Diagram	Paragraph 23 (policies map)	Broad locations for development and land-use designations are identified on the Plan's policies map.
Sites <ul style="list-style-type: none"> • Policy S1: The Meadway • Policy S2: East of Northaw Road East 	Paragraphs 23 (footnote 17) and 28 (Non-strategic policies)	The two broad locations for development are identified on the policies map and benefit from accompanying concept plans to help aid the decision maker and applicants. The supporting non-strategic policies outline more detailed policies for these specific areas and the key principles that applicants should take into account when working up detailed plans for these locations.

Policy Reference and Title	Relevant NPPF Paragraph(s)	Comments on conformity
Environment and Design	Paragraphs 98-99 (Open space and recreation), 100 (Public Rights of Way), 101-102 (Local Green Space), 126 (good design), 127 (design policies), 128 (National Design Guide and National Model Design Code), 129 (neighbourhood scale design guide/codes), 130 (development principles - including local character), 131 (tree-lined streets),	The Plan helps contribute to the adaptation efforts to climate change through the identification of and investment in green infrastructure improvements. This can result in environmental and biodiversity net gains; mitigate flood risk; provide solar shading; support carbon sequestration; encourage a shift to more active modes of transportation and healthier lifestyles and result in increased levels of protection and stewardship of the environment (including through increased community action). Policy D1, d2 and the Design Guide (Appendix 2) encourage optimising the layout, orientation, geometry and massing of buildings. The Plan encourages the use of SuDS and there are also measures proposed to improve pedestrian and cycling in the Parish and enhance the accessibility and utility of green infrastructure. In combination with national policies, the Plan supports new development that both mitigates and adapts to climate change.
Local Employment	Paragraphs 81 (economic growth and productivity), 86 (long-term vitality and viability of centres/new markets)	The Plan's policies support the role that Station Road plays at the heart of Cuffley, by taking a positive approach to how the retail centre may evolve and adapt over the plan period. Policy D1, E1 and T1 together seek to reinforce the long term vitality and viability of this important location. The policies allow the commercial floorspace to grow and diversify (above ground floor level) and supports a mix of uses (including the potential to utilise the public realm). The policy defines the extent of the retail areas and makes clear the range of uses permitted as part of a positive strategy for the future of Station Road.

Policy Reference and Title	Relevant NPPF Paragraph(s)	Comments on conformity
Transport and Getting Around <ul style="list-style-type: none"> • Policy T1 Station Road • Policy T2: Walking and Cycling 	Paragraphs 104-106 (Promoting sustainable transport) and 112 (pedestrian/cycling priority, local character and design standards)	The Plan's policies promote sustainable transport and work on the draft policies has considered these key topics from the earliest stages of plan making with inputs from AECOM feeding into discussions with HCC Highways Authority and WHBC. The Station Road and Walking and Cycling policies seek to promote active modes, reduce the needs to travel and to improve movement in this key location within the Parish. The preliminary proposals for Station Road seek to improve safety and the public realm whilst helping to alleviate congestion and reduce speeding.
Community Wellbeing <ul style="list-style-type: none"> • Policy W1: Community Facilities and Services • Policy W2: Library and GP Surgery • Policy W3: King George V Playing Fields 	Paragraphs 93 (Promoting healthy and safe communities) and 98-99 (Open space and recreation)	The Plan includes policies that seek to provide the social, recreational and cultural facilities and services the community needs. The policies guard against the unnecessary loss of valued facilities and services. The policies seek to improve the accessibility and quality of King George V Playing Fields (including through support for improvements to parking, pedestrian access, open space, sport and supporting facilities).
Implementation <ul style="list-style-type: none"> • Policy I1: Community Projects 	Paragraphs 93 (Promoting healthy and safe communities), 98-99 (Open space and recreation), 104-106 (Promoting sustainable transport) and 112 (active modes, local	The Plan identifies a series of neighbourhood infrastructure and community projects which relate to the delivery and implementation of various aspects contained within the objectives and policies. The majority of items are related to physical, green and social infrastructure and will assist in realising the Plan's vision and the NPPF's definition of sustainable development.

Policy Reference and Title	Relevant NPPF Paragraph(s)	Comments on conformity
	character and design standards)	

Sites

- 4.3 Policies S1 and S2 add greater detail to the emerging site allocations within the Borough's Draft Local Plan, by setting site specific design policies and concept plans which outline the key principles that developers should take into account when working up detailed designs. This includes, at a high-level, potential site layouts, routes, linkages and development areas. The policies and concept plans are not to be read as fixed or compulsory layouts, however, the concept plans will be material considerations in determining future applications and any departure from them (and the accompanying Design Code and Guidance – Appendix 2) will need to be justified accordingly.

Environment and Design

- 4.4 The Plan seeks to concentrate on improving aspects of design for those developments which come forward via planning applications.
- 4.5 The Plan has sought opportunities for more efficient uses of land, especially above shops, and sets out a policy framework to help ensure high quality developments are brought forward in the Neighbourhood Area. Public consultations (see Consultation Statement) showed strong support for improving the quality of development in the Parish and analysis showed that this included a desire for the conservation of local character, respecting designated heritage assets and encouraging high quality/sustainable design.
- 4.6 The policies in this section of the Plan seek to reinforce local distinctiveness while integrating new development into the character of the Parish and add local policy direction to existing and emerging Borough Local Plan policies through the use of a Design Code and Guidance tailored to Northaw and Cuffley. The Design Code and Guidance has been adapted from research and recommendations made by consultancy AECOM who provided design support to the Parish Council via the Government's technical support programme.
- 4.7 The value of the Parish's public realm plays a vital role in its success as a place in which to live and work. Policies in the Plan seek to protect and improve the quantity and quality of open space, including safe access thereto, including the designation of a series of Local Green Spaces (see Appendix D). It also seeks to maintain and improve the green feel and biodiversity of the Parish through the identification and conservation of a series of green routes and linkages.

Local Employment

- 4.8 The Plan reflects strong support for the main local shopping area along Station Road as well as support for continued investment in business locations such as Sopers Road. In addition, the policies support the efficient use of land by

encouraging the utilisation of the space above shops for homes or business use and encourages the use of spaces in front of the retail units.

Transport and Getting Around

- 4.9 The AECOM design assessment (see Appendix A) alongside public consultation has informed the Plan's final policies and Design Code and Guidance. The Plan is particularly concerned with encouraging active modes and improving the public realm.
- 4.10 The design and transport policies (and Design Code and Guidance) are aligned with the Government's statutory National Model Design Code¹ and National Design Guide². Whilst the Plan doesn't seek to replicate these detailed national guidance documents, the AECOM report and preparation of the Plan itself has been cognisant of this guidance and has been prepared in alignment with the '10 Characteristics of Well Designed Places'. In particular, the early work to inform ideas for improving Station Road and King George V Playing Fields seek to enhance these two locations and the Plan acts as a starting point for future local discussions and engagement for improving these two key neighbourhood areas over the plan period.
- 4.11 The Plan also seeks to make movement within the Neighbourhood Area more sustainable with explicit support and proposals for improving walking and cycling in accordance with Hertfordshire County Council local transport policies.

Community Wellbeing

- 4.12 The Plan's policies seek to promote and encourage facilities for community life. Healthy communities need space for sports leisure and casual recreation, as well as community facilities to act as meeting places, social and worship facilities. The Plan ensures that the Neighbourhood Area has continued access to good open space and social and recreation facilities within easy distance of people's homes.

¹ Accessed at: <https://www.gov.uk/government/publications/national-model-design-code>

² Accessed at: <https://www.gov.uk/government/publications/national-design-guide>

5. Contribution to the achievement of Sustainable Development

- 5.1 The three dimensions of sustainable development, as defined in the NPPF 2021 paragraphs 7-9 are: Economic, Social and Environmental. We have reviewed and assessed the Plan's strategy against these three dimensions.
- 5.2 The Plan has been produced to be (1) in conformity with the objectives of the saved strategic policies of the current Welwyn Hatfield District Plan (adopted 2005) and (2) cognisant of strategic policies contained in the Draft Local Plan Proposed Submission Policies Map (2016) – which at the point of this Plan's submission remains at the examination stage (as at March 2022).
- 5.3 The Plan does not allocate sites, but does identify specific design policies where housing has been identified for two key locations (S1 and S2) and locally specific employment-based policies to support economic proposals to occur sustainably. The overarching environmental and design policies encourage good design throughout the Area.
- 5.4 The Plan sets out policies to ensure that any development maintains and enhances the local green and blue infrastructure to benefit the local community and environment.
- 5.5 It sets out policies to pay particular regard to local character and landscape environment of the Parish and its surroundings, upon which the economy and quality of life depends.
- 5.6 It identifies the protection of green infrastructure, open spaces and biodiversity for environmental sustainability in this area surrounded by Green Belt.
- 5.7 It identifies Station Road and King George V Playing Fields for improvements in their utility, accessibility and public realm.

Table 2 Potential effect on sustainable development in the Neighbourhood Area

Effect	Symbol
Likely strong positive effect	++
Likely positive effect	+
Neutral	/

Table 3 Contribution to Sustainable Development

Policy Reference and Title	Environmental Sustainability	Social Sustainability	Economic Sustainability
Sites	+	+	/
• Policy S1: The Meadway			
• Policy S2: East of Northaw Road East	+	+	/
Environment and Design	+	++	/
• Policy D1: Residential Design and Amenity			
• Policy D2: Local Character	+	++	/
• Policy D3: Green Infrastructure	++	+	/
• Policy D4: Local Green Space Designation	++	++	/
Local Employment	+	+	++
• Policy E1: Station Road			
• Policy E2: Sopers Road	+	/	++
Transport and Getting Around	++	++	++
• Policy T1: Station Road			
• Policy T2: Walking and Cycling	+	+	+
Community Wellbeing	+	+	/
• Policy W1: Community Facilities and Services			
• Policy W2: Library and GP Surgery	/	+	/

Policy Reference and Title	Environmental Sustainability	Social Sustainability	Economic Sustainability
<ul style="list-style-type: none"> Policy W3: King George V Playing Fields 	++	++	/
Implementation	++	++	++
<ul style="list-style-type: none"> Policy I1: Community Projects 			

6. General Conformity with the Council's Strategic Policies in the Development Plan for the area

- 6.1 The Plan has been prepared to ensure that it is in general conformity with the strategic policies of the Welwyn Hatfield District Plan (2005)³ and the relevant elements of the emerging Draft Local Plan Proposed Submission (2016)⁴.
- 6.2 The saved strategic policies of the Local plan are listed in Appendix B. Although this Basic Condition statement does not need to test the plan against the emerging Borough Local Plan, the Plan policies of the submitted Borough Local Plan (2016) have fed into the production of the Neighbourhood Plan in order to ensure the Plan's contents are future proofed and as up to date as possible with the emerging national and local policy direction.
- 6.3 Draft Local Plan policies SP 1 (Delivering Sustainable Development) and SP 3 (Settlement Strategy and Green Belt boundaries) outline WHBC's definition of sustainable development and where development can come forward based on the extent of the Metropolitan Green Belt within the Borough (and Neighbourhood Area).
- 6.4 The Neighbourhood Plan's two site-specific policies do not formally allocate land for development, instead they should be utilised for applications that come forward in both locations. Draft Local Plan Policy SADM 33 (Cuffley) includes the formal allocations for HS29 (Cuf12) Land North of Northaw Road East and HS30 (Cuf7) Wells Farm, Northaw Road East. The Draft Local Plan allocation policies include a policy hook that states the 'Site Specific Considerations' table (Table 17 in the Draft Local Plan) should be considered for all development applications. These considerations are aimed at guiding development on the sites and were discussed at length during the examination of the draft Local Plan.
- 6.5 The considerations referenced within the Draft Local Plan (Table 17) have been reflected in the Neighbourhood Plan's policies (S1 and S2). These general principles for good design are also embedded in the Plan's Parish-wide policies and accompanying Design Code and Guidance (see Appendix 2 of the Neighbourhood Plan).
- 6.6 Table 3 (overleaf) illustrates how the Neighbourhood Plan broadly conforms to the relevant saved strategic policies of the Welwyn Hatfield District Plan (2005).

³ Accessed at: <https://archive.welhat.gov.uk/districtplan>

⁴ Accessed at: <https://archive.welhat.gov.uk/local-plan/new/examination/submission-documents>

Table 4 Conformity with Development Plan

Policy Reference and Title	Relevant District Plan (2005) Paragraph(s)	Comments on conformity
Vision and Objectives <ul style="list-style-type: none"> • Vision • Objectives 	SD1 Sustainable Development	As like the District Plan, the Neighbourhood Plan supports development proposals that fulfil the principles of sustainable development and accord with the Plan's vision, objectives and policies.
Sites <ul style="list-style-type: none"> • Policy S1: The Meadway • Policy S2: East of Northaw Road East 	N/A	See Environment and Design (below).
Environment and Design <ul style="list-style-type: none"> • Policy D1: Residential Design and Amenity • Policy D2: Local Character • Policy D3: Green Infrastructure • Policy D4: Local Green Space Designation 	Policy R6 - River Corridors Policy R11- Biodiversity and Development R24 Character Appraisals and Enhancements D1 Quality of Design D2 Character and Context D4 Quality of the Public Realm D5 Design for Movement D6 Legibility D7 Safety by Design D8 Landscaping D11 Design Statements D12 Development Briefs H1 New Housing Development H6 Densities RA2 Development in Settlements in the Green Belt RA10 Landscape Regions and Character Areas	There are numerous detailed development management policies within the District Plan which promote high quality design and protection and enhancement of the natural environment. The Plan's green infrastructure, local character and design policies (in combination with the Design Code and Guide) provide a detailed policy and guidance framework in response to Northaw and Cuffley's environmental assets and design priorities identified by the local community. The Plan is in accordance with the District Plan's strategic policy direction without repeating any of the policy provisions.
Local Employment <ul style="list-style-type: none"> • Policy E1: Station Road 	R1 Maximising the use of previously developed land	In order to make the best use of commercial areas, both the District Plan and Neighbourhood Plan

Policy Reference and Title	Relevant District Plan (2005) Paragraph(s)	Comments on conformity
<ul style="list-style-type: none"> Policy E2: Sopers Road 	EMP1 Employment Areas EMP2 Acceptable Uses in Employment Areas TCR2 Retail Development in Village and Neighbourhood Centres TCR26 Large Village Centres RA13 Mixed Use in Villages	support certain forms of development on land which has been previously used or developed. Similarly, whilst the Permitted Development regime and the Use Class Order have been updated since 2005, the thrust of the saved policies remain relevant i.e. maintaining the vitality and viability of Station Road and Sopers Road whilst seeking to minimise unacceptable traffic generation and resisting uses and development that would harm the function of these important employment hubs.
Transport and Getting Around	M1 Integrating Transport and Land Use M5 Pedestrian Facilities M6 Cycle Routes and Facilities RA25 Public Rights of Way RA26 Bridleways RA27 Greenways	As like the employment policies (above), changes to national and local transport policies have been significant through the most recent Local Transport Plan 4 (2018) ⁵ , changes to the Highway Code ⁶ and the changing behaviours as a result of the Coronavirus global pandemic. For example, changing working patterns which have seen higher levels of working from home and increased use of local open spaces and public rights of way for leisure and recreation. The Plan's policies, like LTP4 and saved District Plan

⁵ Accessed at: <https://www.hertfordshire.gov.uk/services/recycling-waste-and-environment/planning-in-hertfordshire/transport-planning/local-transport-plan.aspx>

⁶ Accessed at: <https://www.gov.uk/government/news/the-highway-code-8-changes-you-need-to-know-from-29-january-2022>

Policy Reference and Title	Relevant District Plan (2005) Paragraph(s)	Comments on conformity
		policies, seek to encourage a switch from the private car to sustainable transport (e.g. walking, cycling and passenger transport) wherever possible and recognising the transport hierarchy.
Community Wellbeing <ul style="list-style-type: none"> • Policy W1: Community Facilities and Services • Policy W2: Library and GP Surgery • Policy W3: King George V Playing Fields 	RA12 Protection of Village Facilities	Saved policy RA12 provides policy protection for community facilities. The Plan's policies are aligned to this aim whilst taking a pragmatic approach to scenarios where buildings may be required to adapt to changing needs and recognising the potential to enhance cherished local facilities such as King George V Playing Fields.
Implementation <ul style="list-style-type: none"> • Policy I1: Community Projects 	N/A	See relevant Community and Wellbeing, Transport and Environment policies (above).

7. European Union Obligations

7.1 The principal EU obligations affecting the neighbourhood development plan are requirements under:

- Directive 2001/42/EC relating to Strategic Environment Assessments (SEA), translated into national law by the Environment Assessment of Plans and Programmes Regulations 2004 and
- Directive 92/43/EEC relating to Habitats Regulations Assessment (HRA) translated into national law by the Conservation of Habitats and Species Regulations 2010.

Strategic Environment Assessments (SEA)

7.2 Welwyn Hatfield Borough Council published a screening opinion on the need for an SEA in September 2021 (see Appendix C). It was determined that the plan is unlikely to have significant environmental effects (and, accordingly, does not require an environmental assessment), a statement of reasons for the determination is set out below.

7.3 The Screening opinion concluded that the Neighbourhood Plan does not require a SEA or a HRA. The reasons for this are:

- The two sites allocated of housing development have already been through the site selection process, including a sustainability appraisal and a Habitats Regulation Assessment and found to be suitable, as part of the draft Welwyn Hatfield Local Plan housing site allocations process.
- The Neighbourhood Plan does not propose to allocate any great quantum of development than that already included in the draft Welwyn Hatfield Local Plan, so will have no greater environmental effect than that already assessed and found to be acceptable.
- The policies contained in the Neighbourhood Plan are intended to protect and enhance the natural environment and will not result in any significant environmental effects.
- The two sites proposed for housing development are included in the draft Welwyn Hatfield Local Plan, and therefore have already been assessed against the four international designated European sites and found not to have significant environmental effects on these sites.

7.4 The response received from the three statutory consultees, Historic England, Natural England and the Environment Agency did not raise any matters or issues that changed the Council's conclusion that SEA/HRA would not be required for the Northaw and Cuffley Neighbourhood Plan (see Appendix C).

Habitats Regulations Assessment

- 7.5 The Plan is considered to be compatible with the EU Habitats directive. It is not likely to have a significant effect on a European site (as defined in the Conservation of Habitats and Species Regulations 2010), either alone or in combination with other plans or projects.

Human Rights Requirements

- 7.6 The Plan has regard to the fundamental rights and freedoms guaranteed under the European Convention on Human Rights. It also complies with the Human Rights Act.

8. Conclusions

- 8.1 The Plan has been produced by the Parish Council's appointed steering group through an analytical and consultative process over a period of eight years.
- 8.2 Early analysis showed that the Area is constrained by national and environmental designations and very little new land is available for potential development, as such redevelopments and infill will be the main source of new homes and employment floorspace. Following community consultation and surveys five themes emerged as the key considerations to be addressed in the Plan.
- 1) Sites - Policies S1 and S2 add greater detail to the emerging site allocations within the Borough's Draft Local Plan by setting site specific design policies and concept plans which outline the key principles that developers should take into account when working up their detailed designs.
 - 2) Environment and Design – The Plan seeks to concentrate on improving aspects of design for those developments which come forward under the development management process. The Plan has sought opportunities for more efficient use of land, especially above shops and sets out a policy framework to help ensure high quality developments are brought forward in the Neighbourhood Area and reflect local character.
 - 3) Local Employment – The Plan reflects strong support for the main local shopping area along Station Road as well as support for continued investment in business locations such as Sopers Road. In addition, the policies support the efficient use of land by encouraging the utilisation of the space above shops for homes or business use.
 - 4) Transport and Getting Around – The Plan encourages active modes and improving the public realm, particularly in relation to Station Road. The Plan also seeks to make movement within the Neighbourhood Area more sustainable with explicit support and proposals for improving walking and cycling in accordance with Hertfordshire County Council local transport policies.
 - 5) Community Wellbeing – The Plan's policies seek to promote and encourage facilities for community life. The Plan ensures that the Neighbourhood Area has continued access to good open space and social and recreation facilities within easy distance of people's homes.
- 8.3 Furthermore, the Plan has sought to identify development opportunities and to suggest alternative uses where possible, while recognising the need for employment and housing. The policies have been drafted taking into account national and local planning policies and are considered to be in conformity with these policies.
- 8.4 We consider that the Plan is in conformity with the relevant regulations and should be approved accordingly for publication and then inspection.

Appendix A AECOM Design Guide

Full report appended (overleaf). Elements of the report have been transposed into the Neighbourhood Plan within Appendix 2 (Design Code and Guide).



NORTHAW AND CUFFLEY

Neighbourhood Plan Design Code

DRAFT REPORT

February 2020



Quality information

Project role	Name	Position	Action summary	Signature	Date
Qualifying body	Northaw and Cuffley Parish Council	Northaw and Cuffley Parish Council	Review		01.02.2020
Director / QA	Mark Hughes	Technical Director	Review		28.02.2020
Researcher	Stefania Fiorentino	Senior Consultant	Research, Site Visit, Drawings		28.02.2020
	Hoorieh Morshedi	Graduate Urban Designer	Research, Site Visit, Drawings		28.02.2020
	Holly Turner	Graduate Urban designer	Research, Site Visit, Drawings		28.02.2020
Project Coordinator	Mary Kucharska	Project Coordinator	Review		28.02.2020

This document has been prepared by AECOM Limited ("AECOM") in accordance with its contract with Locality (the "Client") and in accordance with generally accepted consultancy principles, the budget for fees and the terms of reference agreed between AECOM and the Client. Any information provided by third parties and referred to herein has not been checked or verified by AECOM, unless otherwise expressly stated in the document. AECOM shall have no liability to any third party that makes use of or relies upon this document.

Contents

1. Introduction	6	3.8. Street dimension to be fit for purpose	42
1.1. Introduction	6	3.9. Ensure that car parking is designed with quality of place in mind.....	48
1.2. Objective	6	3.10. Boundary Treatment	53
1.3. Process	6	3.11. Materials and Building Details	54
1.4. Area of Study	8	3.12. Sustainability and eco design	56
1.5. Policy context	10	4. General Questions	68
1.6. Strategic issues.....	13	4.1. General questions to ask and issues to consider when presented with a development proposal	68
2. Local Character Analysis	16	5. Delivery	74
2.1. Introduction.....	16		
2.2. Character Areas and Building Typologies	18		
2.3. Heritage Asset: Conservation Area and Listed Buildings	22		
2.4. Streetscapes and Footpaths	24		
2.5. Density.....	26		
2.6. Architectural Details	28		
3. Design Code.....	32		
3.1. Introduction.....	32		
3.2. Settlement Edges.....	32		
3.3. Pattern and Layout of Buildings.....	34		
3.4. Greenery and Environmental Designations.....	36		
3.5. Views and Landmarks/settings.....	38		
3.6. Public Realm and Streetscape.....	39		
3.7. Household Extensions.....	40		





Introduction

01

1. Introduction

1.1. Introduction

Through the Ministry of Communities and Local Government (MHCLG) Neighbourhood Planning Programme led by Locality, AECOM has been commissioned to provide design support to Northaw and Cuffley Parish Council in producing its Neighbourhood Plan.

This document should support Neighbourhood Plan policies that guide the assessment of future development proposals encouraging high quality design in both villages in the parish. It advises on physical development helping to create distinctive places integrated with the existing villages.

1.2. Objective

The main objective of this report is to develop a design code that future development in Northaw and Cuffley should follow to retain and protect the rural, tranquil character and scenic beauty of the area. In particular:

- The design of new buildings should respond to the scale, building typology and position relating to street access of existing buildings and should enhance local distinctiveness without limiting originality and innovation;
- Development proposals that would result in the loss of trees or green spaces should provide a clear commitment to replace this vegetation;
- Any development should conserve and protect heritage assets and their settings;

- Where new domestic access points are required, small-scale features such as fencing, walls, entrance gates and hedgerows should respond to the local vernacular to promote and enhance local distinctiveness; and
- Proposals to alter historic buildings should demonstrate a thorough understanding of the history and design qualities of the buildings and provide a clear rationale for how this has been taken into account in the design of the proposed alterations, without limiting originality and innovation.

1.3. Process

Following an inception meeting and a site visit with Parish Councillors, AECOM carried out a high level assessment of the villages. The following steps were agreed with the group to produce this report:

- Initial meeting and site visit;
- Urban design analysis;
- Preparation of design principles and code to be used to inform future developments;
- Draft report with design code, subsequently revised in response to feedback provided by Northaw and Cuffley Parish Council; and
- Submission of final report.



Figure 1: Large detached historic houses in Northaw Conservation Area.



Figure 2: Family house along the Ridgeway.



Figure 3: Typical detached bungalows in Cuffley.

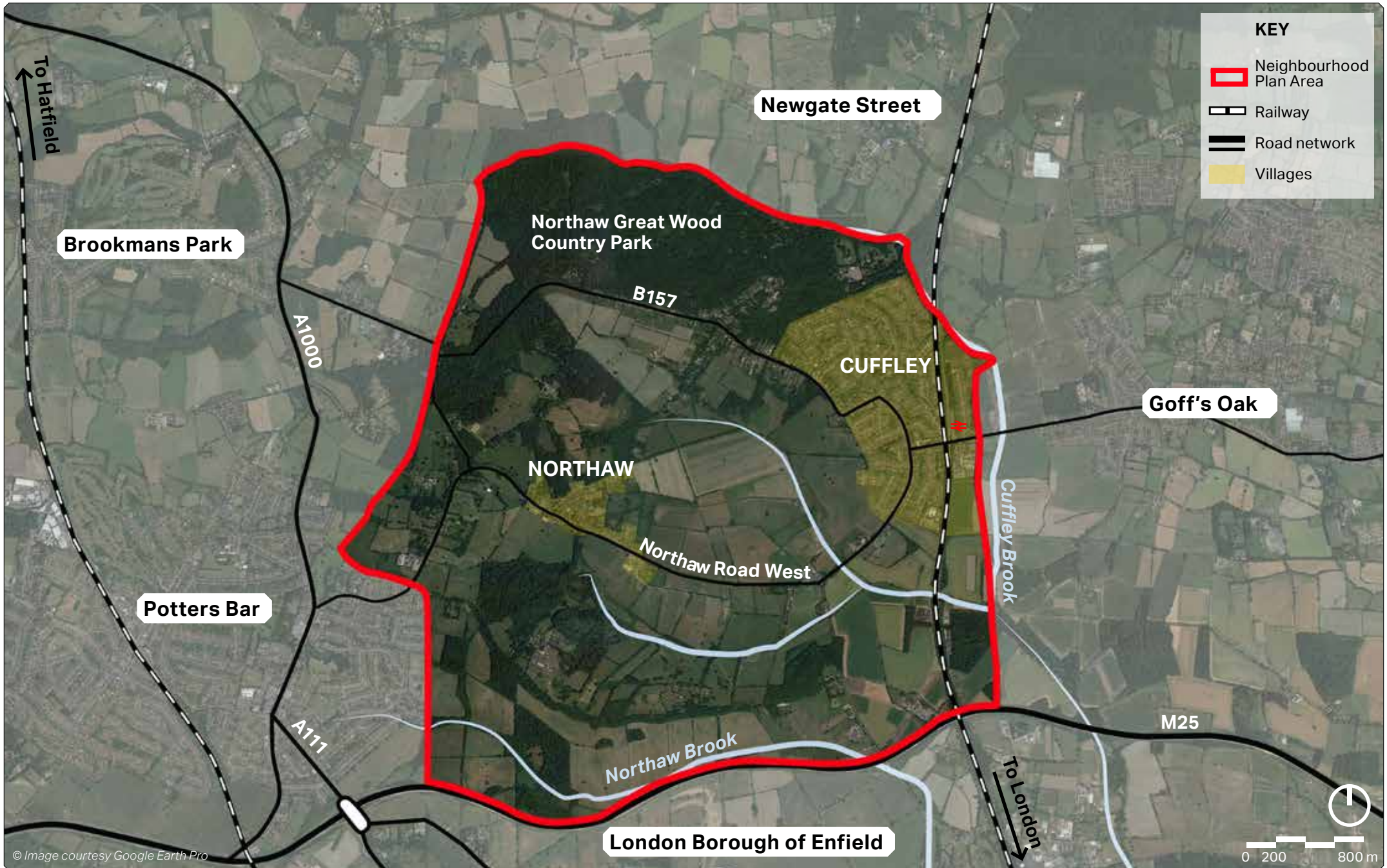


Figure 4: Northaw and Cuffley Neighbourhood Plan/Parish area.

1.4. Area of Study

Northaw and Cuffley Parish Council is located in the Welwyn Hatfield district of Hertfordshire, approximately 22 km north of central London and just adjacent to the London Borough of Enfield (within Greater London's boundaries) at the south, and the Hertsmere District to the west. The Broxbourne District is located immediately to east of the area.

The civil parish includes the two villages of Northaw and Cuffley and it is located within the Metropolitan Green Belt. The two villages together have a population of 5,190.

The village of Northaw is the historic nucleus of the parish. It is characterized by heritage buildings such as the parish Church of St Thomas a Becket, a Grade II listed building dating from 1881. There are also a number of natural open spaces and wildlife sites.

The village of Cuffley has in contrast developed predominately during the 20th century in tandem with the Great Northern Railway which arrived in 1910 and today provides regular services to London Moorgate. Cuffley is mostly a residential village consisting of detached housing on large plots; due to its proximity to the M25 it is also part of the London Commuter Belt.



Figure 5: Parish Church of St. Thomas a Becket in Northaw, Grade II listed.



Figure 6: A service road layout on The Ridgeway.



Figure 7: Cuffley Village centre near the train station.



Figure 8: Rural Area in Northaw.

1.5. Policy context

This section sets out local and national policy that may be of relevance to the Northaw and Cuffley NP Design Guide.

National Planning Policy

The National Planning Policy Framework was revised in February 2019 and sets out the national planning framework to guide development. The policies considered most relevant are set out below:

Paragraph 77 sets out that, in rural areas, planning policies and decisions should be responsive to local circumstances and support housing developments that reflect local needs.

Paragraph 78 explains that, to promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities. Planning policies should identify opportunities for villages to grow and thrive, especially where this will support local services. Where there are groups of smaller settlements, development in one village may support services in a village nearby.

Paragraph 117 explains that planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions.

The design chapter of the NPPF – ‘Achieving well designed places’ - contains the below relevant policies:

Paragraph 124 sets out that good design is a key aspect of sustainable development, creating better places in which to live and work and helping make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this.

Paragraph 125 indicates plans should, at the most appropriate level, set out a clear design vision and expectations, so that applicants have as much certainty as possible about what is likely to be acceptable. Design policies should be developed with local communities so they reflect local aspirations, and are grounded in an understanding and evaluation of each area’s defining characteristics. Neighbourhood plans can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development.

Paragraph 126 encourages the use of the visual tools such as design guides and guidelines to provide clarity in plans or supplementary planning documents.

Paragraph 127 indicates that planning policies and decisions should ensure that developments: a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities); d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit; e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

National Green Belt policy:

Paragraph 133 explains that the Government attaches great importance to Green Belts. The fundamental aims of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.

Paragraph 134 sets out the five purposes of the Green Belt: to check unrestricted sprawl; prevent neighbouring villages merging into one another; safeguard the countryside from encroachment; preserve the setting and special character of historic villages; assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

Relevant national policy relating to the historic environment:

Paragraph 185 indicates that plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats.

Paragraph 200 explains that local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

Local Policy

The Welwyn Hatfield development plan consists of the saved policies within the Welwyn Hatfield District Plan (2005); where policies have been superseded by national guidance they have been deleted. The emerging Welwyn Hatfield local plan is currently at examination.

Emerging Welwyn Hatfield Draft Local Plan

The emerging Welwyn Hatfield Local Plan¹ sets out the overall strategy and planning framework for the borough up to 2032. It is currently at examination, having been submitted in May 2017. The policies that are considered most relevant are listed below:



Figure 9: Welwyn Hatfield Key Diagram from WH Emerging Plan.

1. Draft Local Plan Proposed Submission, published by Welwyn Hatfield Borough Council, August 2016

Policy SP 2 Targets for Growth sets out the overall strategy for growth in the district up to 2032. It sets out that opportunities have been identified in and around the villages and excluded villages to facilitate the delivery of a borough-wide housing target of around 12,000 dwellings between 2013 and 2032, as set out in the Settlement Strategy. The overall target will be phased over the plan period at the following rates: 2013/14 to 2021/22: 4,485 dwellings (an average of 498 dwellings per annum); 2022/23 to 2031/32: 7,515 dwellings (an average of 752 dwellings per annum).

Policy SP 3 Settlement Strategy and Green Belt Boundaries sets out the strategy for locating growth in the District, consistent with the settlement hierarchy:

- Green Belt boundaries, shown on the Policies Map, will be maintained throughout the plan period and only reviewed through a review of this plan.
- The primary focus for new development will be in and around the two towns of Welwyn Garden City and Hatfield.
- The secondary focus for development will be in and around the excluded villages at a more limited scale, compatible with the more limited range of job opportunities, shops, services and other facilities available in these locations. A location for a new village at Symondshyde to the north-west of Hatfield has been identified.
- In villages and other rural areas of the borough that lie within the Green Belt, development will be restricted so as to be consistent with the type of development envisaged in national planning policy and other policies of this plan.

Cuffley is defined as a large excluded village. Large excluded villages are excluded from (not in) the Green Belt with large

service centres, but a more limited range of employment opportunities and services than the two villages. Shops and facilities mainly serve the community needs of these villages and those living in surrounding rural areas. Accessibility to the main road network is good and they are served by rail and/or bus networks.

Northaw is defined as a Green Belt village. Green Belt Villages are set in open countryside and washed over by (within) the Green Belt. They are typically residential with limited local facilities and services. Accessibility is mainly via the rural road network and infrequent bus services. None are served by rail. There is limited scope for development and only where this would be compatible with Green Belt policy.

Table 2 of the emerging Local Plan sets out the distribution of housing growth over the plan period. Cuffley is considered to have capacity to provide 416 dwellings from 2013-2032, including capacity for 286 dwellings made possible through Green Belt/ Area of Special Restraint release. The rural areas (which include Northaw) are considered to have capacity for 1,182 dwellings from 2013-2032, including 1,144 dwellings made available through Green Belt/ Area of Special Restraint release.

Policy SP 7 Type and Mix of housing indicates that, in excluded villages (including Cuffley), there will be a target of 35%

Site	Location	Use	Number of dwellings	Delivery within plan period
HS26 (No02)	36 The Ridgeway and land to the rear	Residential	8	0-5 years
HS27 (Cuf1)	Land at The Meadow	Residential	30	0-5 years
HS28 (Cuf6)	Land south of Northaw Road East	Residential	108	0-10 years
HS29 (Cuf12)	Land north of Northaw Road East	Residential	73	0-10 years
HS30 (Cuf7)	Wells Farm, Northaw Road East	Residential	75	6-10 years
HS31 (No10)	Land west of St Martin de Porres Catholic Church	Residential	5	11-15 years

Figure 10: Table 2 from Welwyn Hatfield Emerging Plan.

affordable housing on sites of 11 new dwellings or 0.5ha or more.

An update on Policies SP 2, and SP 7 The local plan now runs to 2036. The WHBC cabinet had a meeting in January 2020 debating the proposed Site Allocation and this is an ongoing process now. Symonshyde site is currently being considered in the current consultation. The number on table 2 might be affected depends on the process of this decision.

Policy SP 25 Rural Development indicates that, in the rural areas, limited infill development and the re-use or conversion of existing buildings will be supported where these are compatible with their Green Belt location, the settlement strategy and the protection of critical assets. The Council will support the retention of local facilities and the provision of new facilities and infrastructure which are important to the social and economic well-being of rural communities.

Policy SADM 34 (Development within the Green Belt) sets out the Council's main development management policy on development within the Green Belt in accordance with national Green Belt strategy set out in the NPPF.

Policy SP 11 Protection and enhancement of critical environmental assets explains that the protection, enhancement and management of the environmental, ecological and historic assets within the borough, will be sought commensurate with their status, significance and international, national and/or local importance. Development that would secure positive improvements to and ensure the long-term conservation of ecological and heritage assets for the enjoyment of future generations will be supported.

Policy SP 12 Strategic Green Infrastructure indicates that the Council will work with partners to actively support the creation

and enhancement of strategic green infrastructure across the borough. Opportunities to link existing green spaces and to improve public access and amenity will be supported in order to provide a comprehensive network of functional and linked spaces for the benefit of wildlife, biodiversity and the community. Priorities for the creation and enhancement of green infrastructure include river corridors, sites designated for their nature conservation, heritage and/or landscape value and areas of Urban Open Land that are important for community recreation.

Design Policies

Policy SP9 Place Making and High Quality Design sets out that proposals will be required to deliver a high quality design that fosters a positive sense of places and integrates in a coherent way the principles of: responding to character and context; being legible permeable and well connected; creating high quality public space and landscaping; making space for nature; being vibrant and diverse; safe and secure; positive building function and form in relation to surrounding context.

Policy SADM 11 Amenity and Layout explains that all proposals will be required to create and protect a good standard of amenity for buildings and external open space, including satisfactory levels of daylight/ sunlight and privacy.

Policy SP10 Sustainable Design and Construction supports proposals that adopt sustainable design and construction principles including considering the life cycle of a building/ public space to consider how it can be adapted in future to meet different needs, considering the re-use of materials, water sensitive design, layout and design of site/ buildings to reflect energy hierarchy, considering how best to incorporate habitats and biodiversity.

Heritage Policies

Policy SADM15 Heritage indicates that proposals which affect designated heritage assets and the wider historic environment should consider the following: the potential to sustain and enhance the heritage asset and historic environment in a manner appropriate to its function and significance; successive small scale changes that lead to a cumulative loss or harm to the significance of the asset or historic environment should be avoided; proposals should respect the character, appearance and setting of the asset and historic environment in terms of design, scale, materials and impact on key views; architectural or historic features which are important to the character and appearance of the asset (including internal features) should be retained unaltered; the historic form and structural integrity of the asset are retained; and appropriate recording of the fabric or features that are to be lost or compromised takes place and is deposited into the Historic Environment Record.

Welwyn and Hatfield District Plan 2005 Saved Policies

The current Welwyn Hatfield development plan is made up of the adopted District Plan (2005). Some policies contained within this plan have been superseded; however, the remaining saved policies are still relevant for decision taking and plan making. Those considered most relevant or listed below:

Policy D1 Quality of Design indicates that the standard of design in all new development should be of a high quality. The design of new development should incorporate the design principles and policies in the Plan and the guidance contained in the Supplementary Design Guidance.

Policy D2 Character and Context requires all new development to respect and relate to the character and context of the area in which it is proposed. Development proposals should as a

minimum maintain, and where possible, should enhance or improve the character of the existing area.

Policy D3 Continuity and Enclosure indicates that all new development should incorporate the principles of continuity and enclosure to distinguish between public and private spaces.

Policy H6 Densities requires all residential developments of 5 or more dwellings to be built at densities of 30 to 50 dwellings per hectare provided that the development will not have an adverse impact on the character of the surrounding area and can satisfy the design policies of the Plan.

Welwyn Hatfield Landscape Character Assessment (2005)

The Northaw and Cuffley Parish area is covered by two landscape character areas:

Landscape Character Area 52 Northaw Great Wood: This is an area of broadleaf woodland on the north-western edge of Cuffley managed for recreation and nature conservation. Its key characteristics are ancient woodland with plantation to north-west and east, a strong boundary to arable fields to north, a strongly undulating terrain, tranquil, east-facing slope with eastward flowing streams. The strategy for the area is to safeguard and manage.

Landscape Character Area 53 Northaw Common Parkland: This area borders the M25 and the southern boundary of Hertfordshire and includes several country houses and estates.

The village of Northaw lies on a ridge in the middle of the area and The Ridgeway at Cuffley defines the northern boundary. Key characteristics are tight circles of Scots pine, limes and oaks planted in open parkland, lodge houses and grant entrances to mansions, restricted views and limited public access, horse grazing in fenced pasture, mixed architectural influences, ridgelines and valley 'bowls', hornbeam bollards.

1.6. Strategic issues

Members of the Parish Council were invited to share their knowledge of Northaw and Cuffley during an inception meeting on 21st August 2019 and a site visit on the 9th of September. The observations made have been used to inform this Design Guide.

- Maintaining Northaw and Cuffley's identity of being the first real countryside just outside London;
- Maintaining and enhancing the local character of the parish area, its village feeling and tranquil landscape;
- Preserving the rural feel of the area by ensuring the preservation of its green areas, the general integration between built forms and natural spaces and minimizing impacts on the green belt; and
- Maintaining Northaw and Cuffley's architectural style and heritage with particular regard to the local housing typologies and their design.



Figure 11: Landscape Character Area 52 Northaw Great Wood.



Figure 12: Landscape Character Area 53 Northaw Common Parkland.





Local Character Analysis

02

2. Local Character Analysis

This section outlines the broad physical, historic and contextual characteristics of Northaw and Cuffley. It analyses the pattern and layout of buildings, hierarchy of movements, topography, building heights and rooflines, and parking. Images in this section have been used to portray the built form of Northaw and Cuffley.

2.1. Introduction

The two villages of Northaw and Cuffley will be analysed separately within this section. Cuffley is a large excluded village, mainly characterized by detached housing endowed with a private parking located at the front and a larger private garden at the rear. The large houses are increasingly enclosed by walls and electric gates. The private green spaces at the front are usually bounded by low-rise walls separating private and public areas, whereas the large mansion houses are usually surrounded by higher perimeter walls and generous vegetation so that they are not visible from the street. Cuffley's village centre, in proximity of the railway station, is where a local array of shops and facilities serving the community are located.

Northaw is the more historic part of the parish characterized by its conservation area. The majority of listed buildings are clustered around the village centre, articulated around the church of St Thomas a. Becket with most listed buildings along Coopers Lane and Northaw Road West. For Cuffley, the recurring housing typologies are individual houses: either cottages and terrace units or larger mansion houses. Streets are characterized by generous green corridors between carriageways and hedgerows. Cuffley is surrounded by the Green Belt whereas Northaw is within the Green Belt.



Figure 13: A detached bungalow on The Meadway in Cuffley.



Figure 14: The streetscape on Homewood Avenue in Cuffley.



Figure 15: Streetscape and individual family housing on The Ridgeway (Northaw).



Figure 16: Streetscape on Northaw Road West in Northaw looking towards St. Thomas a. Becket Church.

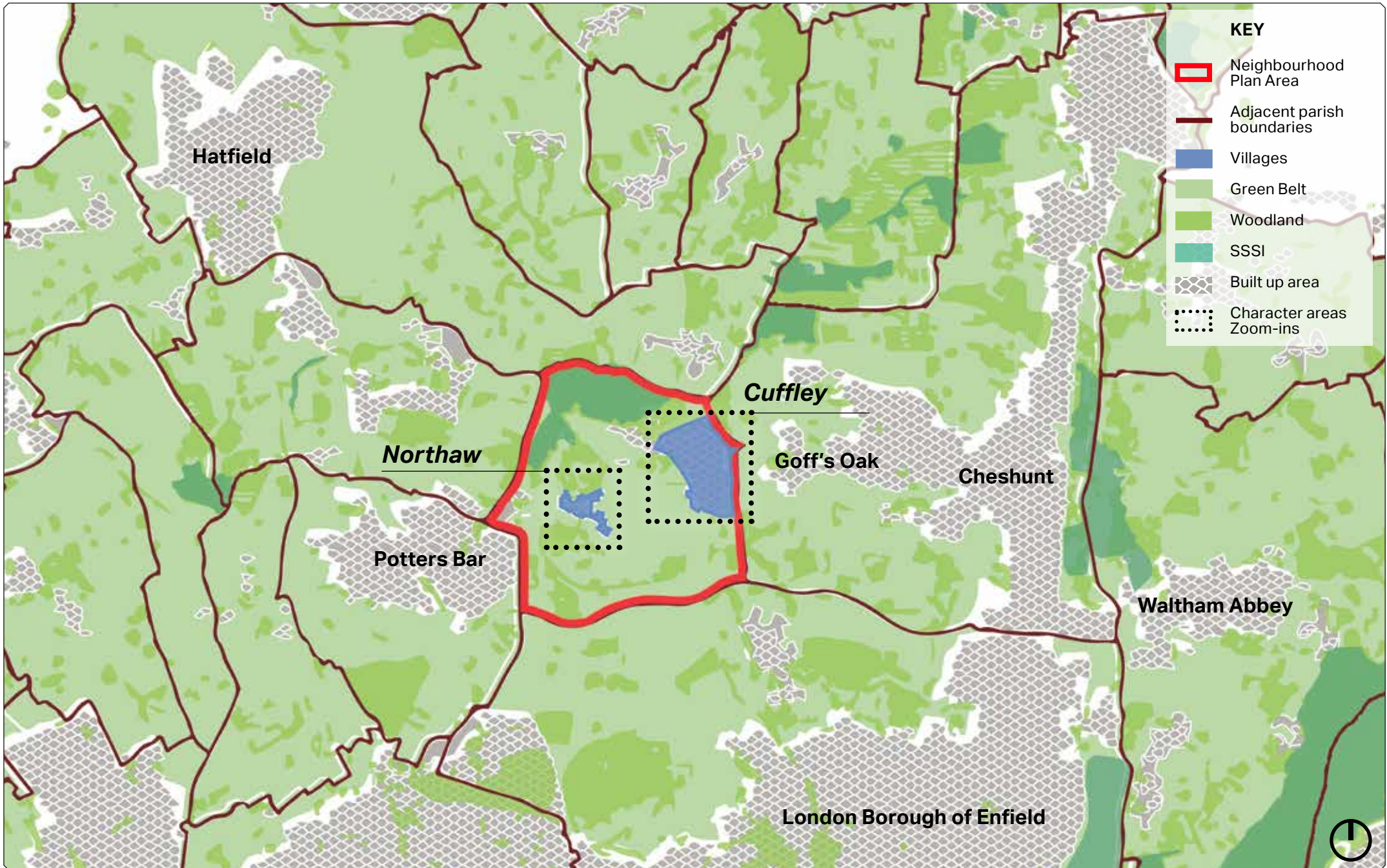


Figure 17: Strategic plan showing Neighbourhood Plan Area and location of Northaw and Cuffley with key infrastructure.

2.2. Character Areas and Building Typologies

CUFFLEY	
STREETS AND PUBLIC REALM	Except from the village centre and the areas surrounding the railway station, Cuffley's typical streetscape is enmeshed with nature, with green spaces and woodlands usually enclosing roads at least on one side. This is particularly evident on The Ridgeway and on Vineyards Road. The roads serving the denser residential areas of semi-detached units around the station, for example, around The Meadway at the south or Homewood Avenue at the north, retain a green character owing to the open front gardens and the lush vegetation of the more enclosed back gardens. With the exception of the large mansion houses, buildings are usually aligned with the streets although stepped back from the pavement/carriageway.
PATTERN AND LAYOUT OF BUILDINGS	As shown in Figure 19, the most common typologies in Cuffley are bungalows and detached houses. The use of bungalows date back to 1930s, such as at Plough Hill, and all properties in Meadway are detached houses dating back to 1930s. On Brookside and Homewood Avenue properties are mainly bungalows and detached houses, all date back to 1960s. Smaller terraced units are distributed around the village centre (Hill Rise) and generously sized individual detached houses are distributed in The Ridgeway.
BUILDING HEIGHTS AND ROOFLINE	Building heights typically vary between one and two storeys. Typically the roofline is either pitched or hipped and most buildings have chimneys, on the roofs gabled dormers are frequently present. Mansions houses usually tend to be more varied in their architectural styles and characteristics.
CAR PARKING	All houses in Cuffley are usually served by private parking either at the front of the plot or in an adjacent covered garage space. Other parking modes include: parking in the front garden, parking on the side of the house and also parking on the street (especially in the areas closer to the railway station).

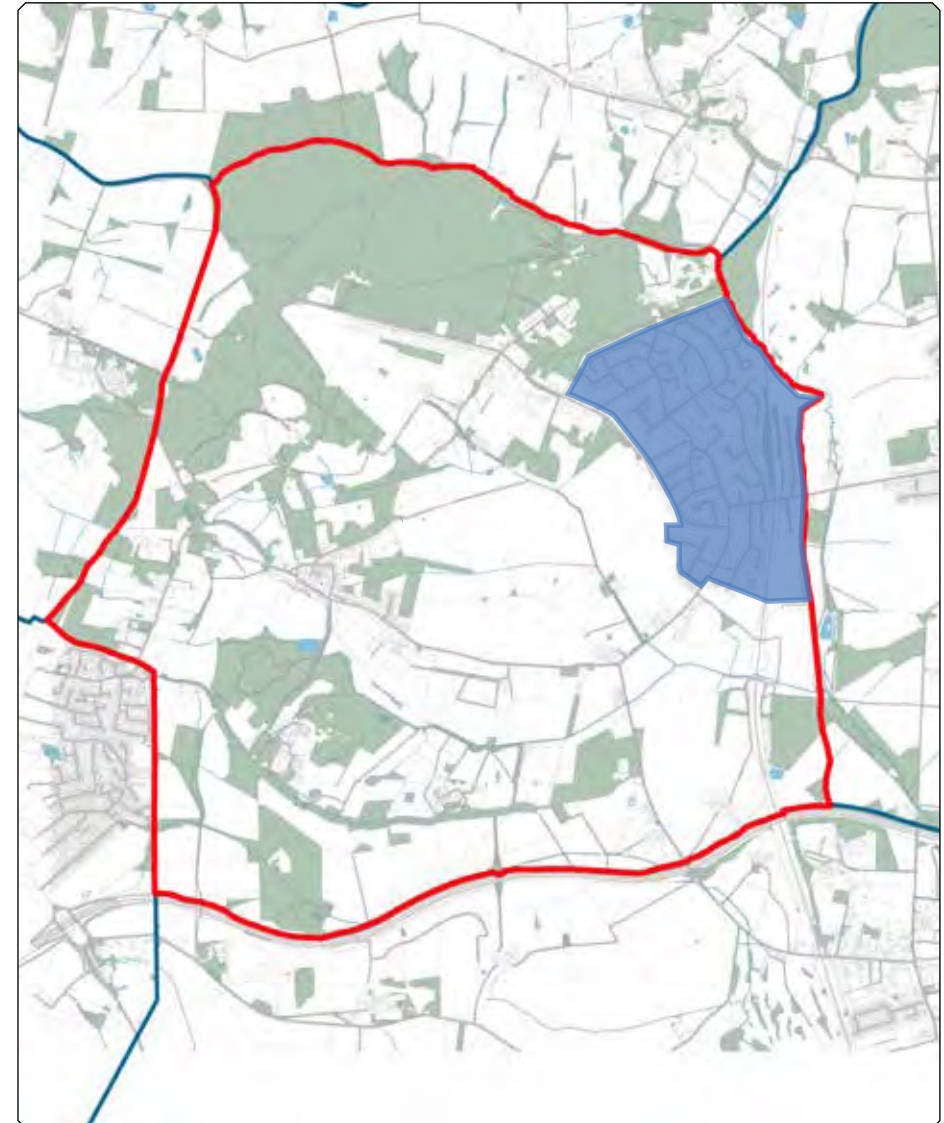


Figure 18: Location map showing Cuffley within the Neighbourhood Plan Area boundary.



Figure 19: Character areas and building typologies in Cuffley.

NORTHAW	
STREETS AND PUBLIC REALM	Natural views and historic features are fundamental parts of Northaw's streetscape and public realm. Streets and green pedestrian pathways in the village centre are usually narrower and bounded by buildings surrounded by red brick walls (higher or lower depending from the building typology). Trees, green pavements and flowerbeds are typically part of the streetscape, especially in proximity of the conservation area. The houses at the beginning of the conservation areas are surrounded by typical red brick perimetral walls. The same material is used also for the short walls delimiting the private front gardens of the smaller terrace units.
PATTERN AND LAYOUT OF BUILDINGS	The buildings outside of the conservation area were built in the 1930s and the infill of chalet bungalows between Park Road and Park farm built in the 1960s and 1970s. Housing typologies are of a tighter grain and denser in the village centre, whereas in the rest of Northaw (along Northaw Road West, Vineyards Road and the beginning of The Ridgeway) dwellings are sparser and greater in massing. The conservation area and its surroundings are mainly characterized by semi-detached houses and terraced units or cottages with red brick facades. The taller perimetral walls of the historical buildings are also made of red bricks resonating with the lower walls delimiting front gardens of the most recent properties. Some council housing terraced units are located along Northaw West Road beyond the conservation area. Those terrace units are aligned to the street whereas the houses included in the conservation area and those around the church are usually orientated such that they have internal courtyards or shared green spaces.
BUILDING HEIGHTS AND ROOFLINE	Building heights typically vary between two and three storeys. Typically, the roofline is either pitched or hipped and most buildings have chimneys.
CAR PARKING	Except for the bigger mansions or individual houses along The Ridgeway and Vineyards Road, parking modes in Northaw include: parking in the front garden, parking on the side of the house and parking on the street.

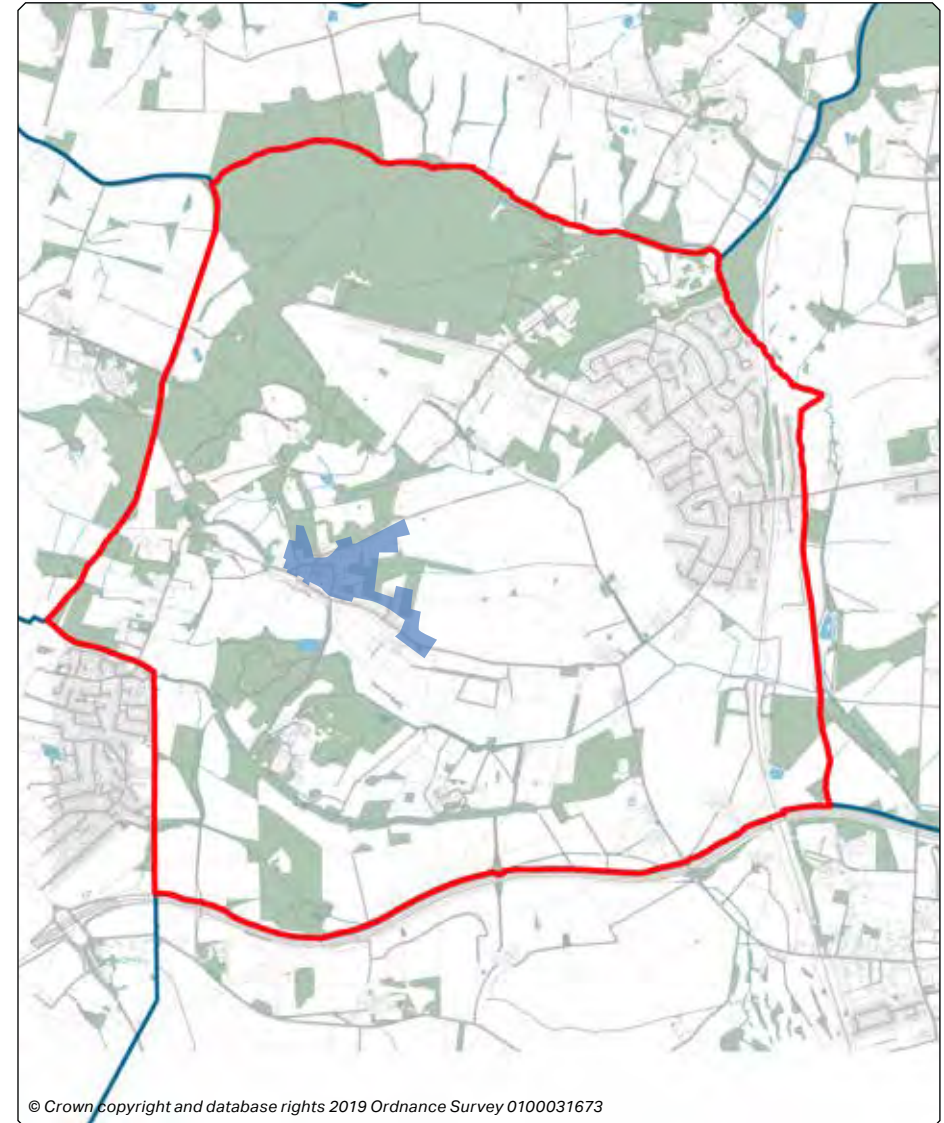
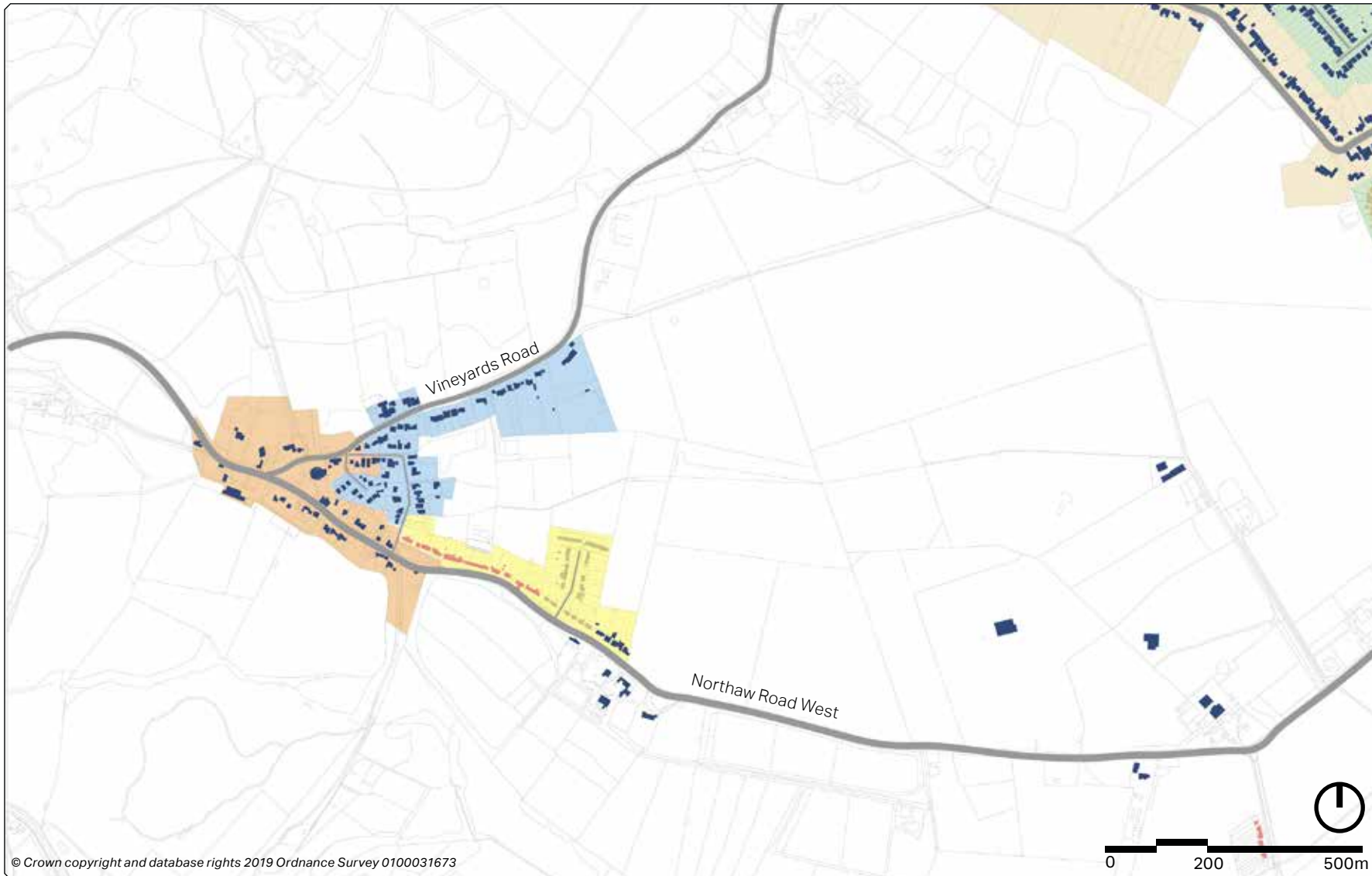


Figure 20: Location map showing Northaw within the Neighbourhood Plan Area boundary.



KEY

Typology

- Detached
- Semi-detached
- Terraced

Character Areas

- Conservation area
- Northaw Road West
- Vineyards Road

© Crown copyright and database rights 2019 Ordnance Survey 0100031673

Figure 21: Character areas and building typologies in Northaw.

2.3. Heritage Asset: Conservation Area and Listed Buildings

There are more than 30 listed buildings within the Neighbourhood Plan boundaries.

The majority of the listed buildings can be found in Northaw and mainly within its conservation area and along Coopers lane. The most notable listed building, at Grade II*, is the Parish Church of St. Thomas a. Becket dating to 1881 and Captain William Leefe Robinson VC memorial obelisk is the only Grade II listed building in Cuffley.



Figure 22: Parish Church of St. Thomas a. Becket, a grade II* listed building.



Figure 23: Telephone Kiosk outside Post Office and opposite Church, a grade II listed building which is now a community art gallery.



Figure 24: Houses in Northaw conservation area.



Figure 25: Two Brewers Public House, a grade II listed building on Northaw Road West.



Figure 26: The Old Vicarage, a grade II listed building on Vineyards Road.



Figure 27: A grade II listed memorial obelisk, Cuffley.

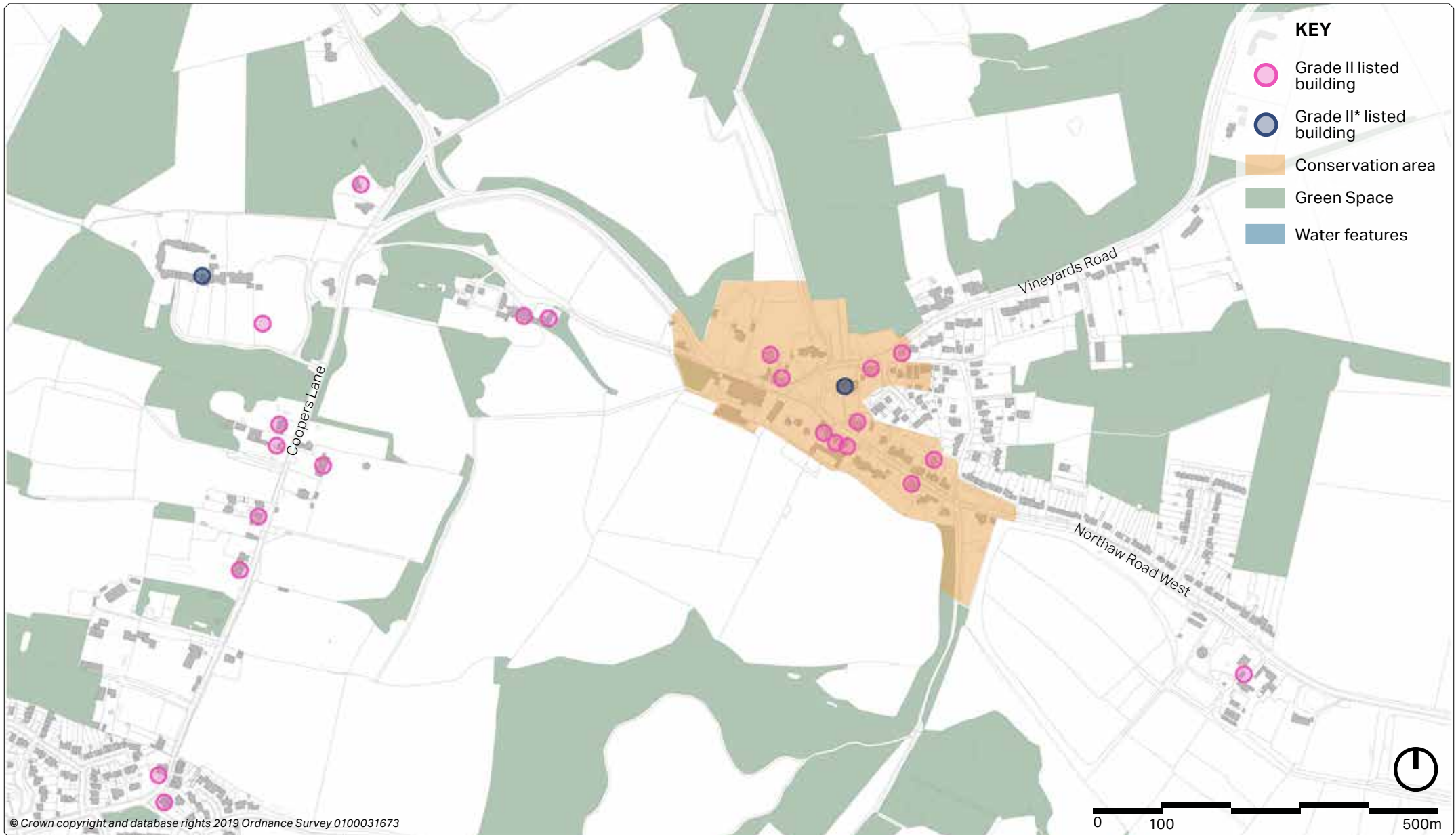


Figure 28: Conservation area in Northaw and listed buildings.

2.4. Streetscapes and Footpaths

Streetscapes in both villages tend to be quite green and punctuated with vegetation.

The main road, The Ridgeway, is surrounded by tall perimetral walls of mansions, farmland and woodland. Part of the Ridgeway acts as a service road for the detached houses opposite Northaw Great Wood. In the tracts sided by detached houses with private parking lots at the front, streets are organised as parkways with green medians to separate lorries and faster traffic circulation from the local access ways to the housing units (Figure 30).

The residential character of the area changes only in Cuffley village centre - on Station Road - where commercial units are located at the ground floor, with adjacent pavements accompanied by flowerbeds. The two ways single lanes road often becomes congested by local traffic, lorries and other vehicles going to the station, the M25 or other surrounding villages.

In Cuffley and in Northaw conservation areas, some narrow pedestrian trails and pathways connect the denser residential areas of semi-detached houses or cottages with the inner green spaces and/or provide shortcuts among the properties to reach the communal green spaces.

Given the rural features of the area and its inclusion in the Green Belt many streets are effectively byways used both by pedestrian and other vehicles.

Street furniture and even bus stops tends to match the rural style of the current streetscapes with the use of bricks and wood fences or palisades (Figure 29).



Figure 29: Bus stop in Northaw conservation area.



Figure 30: A service road in Cuffley, The Ridgeway.



Figure 31: Pedestrian footpath in Cuffley.



Figure 32: Typical pavement in Meadway including pedestrian pathway and access lane to houses in Cuffley.



Figure 33: Cuffley village centre, Station Road.



Figure 34: Map showing the hierarchy of streets.

2.5. Density

Residential density is a measure by which the intensity of land use within a given area can be quantified. A standard measure is simply the number of units (dwellings) per hectare (dph).

The areas of the Cuffley with the highest density tend to mainly have semi-detached properties with small and medium-sized back gardens clustered together. Cranfield Crescent is a typical example of this and has relatively high density ranging between 20 and 25 dph. However, highest density in Northaw is found around the fringes of the historic core with detached and two-story houses.

Brookside Crescent, Homewood Avenue and Starling Lane have medium density within Cuffley, as is shown in the next page, and the lowest density is mainly found in Northaw where there are large front and back gardens, and in housing estates with larger detached properties e.g. Vineyards Road. This is in part a result of the transition between the village and the countryside in these areas.

These developments are characterised by larger plots, generous gardens or greater provision of open space.



Figure 35: Two-storey property on Starling Lane, Cuffley.



Figure 36: The medium density on The Ridgeway, Cuffley.



Figure 37: Relatively high density on Church Lane, Northaw.



Figure 38: Generous front and back gardens on The Ridgeway, Cuffley.



2.6. Architectural Details

Building details and materials contribute to local distinctiveness and vernacular. The following section showcases a wide variety of local building details which should be considered as positive examples.

Specific particularities of the built environment are further discussed in Chapter 3, as sub-chapters where local materials palettes, architectural details and features are explored.



Ground Floor Bow Windows in Northaw.



Chimney as architectural focal point of the building.



Timber decorated gables.



Gable end decorations.



Gabled dormer.



Ground Floor Bow Windows in Cuffley.



Wood and glass front door.



Low rise bungalow with gable roofs integrated in the surrounding greenery.



Hipped Roofs.



Gable Roof.



Modern low brick walls dividing private front gardens from the pavements



Private/public space partition solutions.



Private/public space partition solutions using bricks.



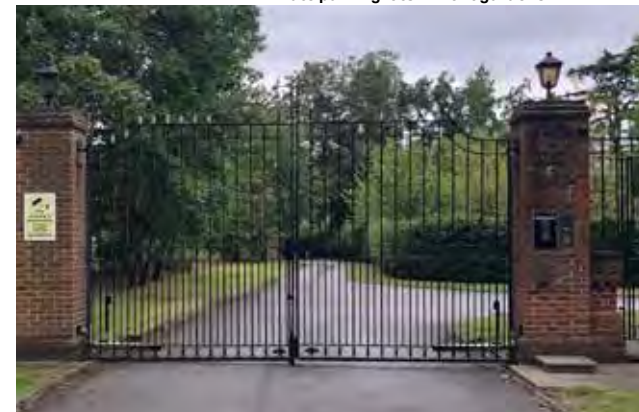
Private parking lots in front gardens.



White painted and brick finishing facades.



Red Brick Wall.



Gated house in Northaw.





Design Code

03

3. Design Code

This section outlines design elements and principles to complement Northaw and Cuffley's Neighbourhood Plan application and to consider when assessing any other design proposals.

3.1. Introduction

The aim of this section is to set out the guidance that will influence future design and development in Northaw and Cuffley. Where possible, images from Northaw and Cuffley are used to exemplify the code. Where these images not available, best practice examples from elsewhere are used.

3.2. Settlement Edges

It is important to consider how the new settlement could support the reconnection between Northaw and Cuffley and enhancing East/West linkages. Following principles should take into account for future development.

- Streets must meet the technical highways requirements as well as be considered a 'space' to be used by all, not just motor vehicles. It is essential that the design of new development should include streets that incorporate needs of pedestrians, cyclists and if applicable public transport users.
- Streets should tend to be linear with gentle meandering - providing interest and evolving views. Routes should be laid out in a permeable pattern allowing for multiple connections and choice of routes, particularly on foot. Any cul-de-sacs should be relatively short and include provision for onward pedestrian links.
- Access to properties should be from the street where possible.

- The distribution of land uses should respect the general character of the area and road network, and take into account the degree of isolation, lack of light pollution and levels of tranquillity.



Figure 40: Street grid in Cuffley.



Figure 42: Detached houses facing the street on The Meadway in Cuffley.



Figure 43: Cul-de-sac development in Oak Lane in Cuffley.



Figure 41: Northaw Road West with gentle meandering provides interesting views.



Figure 44: A cul-de-sac development in Brookside Crescent in Cuffley.

- Interfaces between the existing settlement edges and any village extension must be carefully designed to integrate new and existing communities. This is particularly important where new residential buildings will face existing residential properties that until now back onto open fields.
- Edges must be designed to link rather than segregate existing and new neighbourhoods. A belt of hedges that defines the existing settlement edge can be integrated into a the new neighbourhood by providing a shared back hedge, as in the example shown here, or into the scheme's green infrastructure.

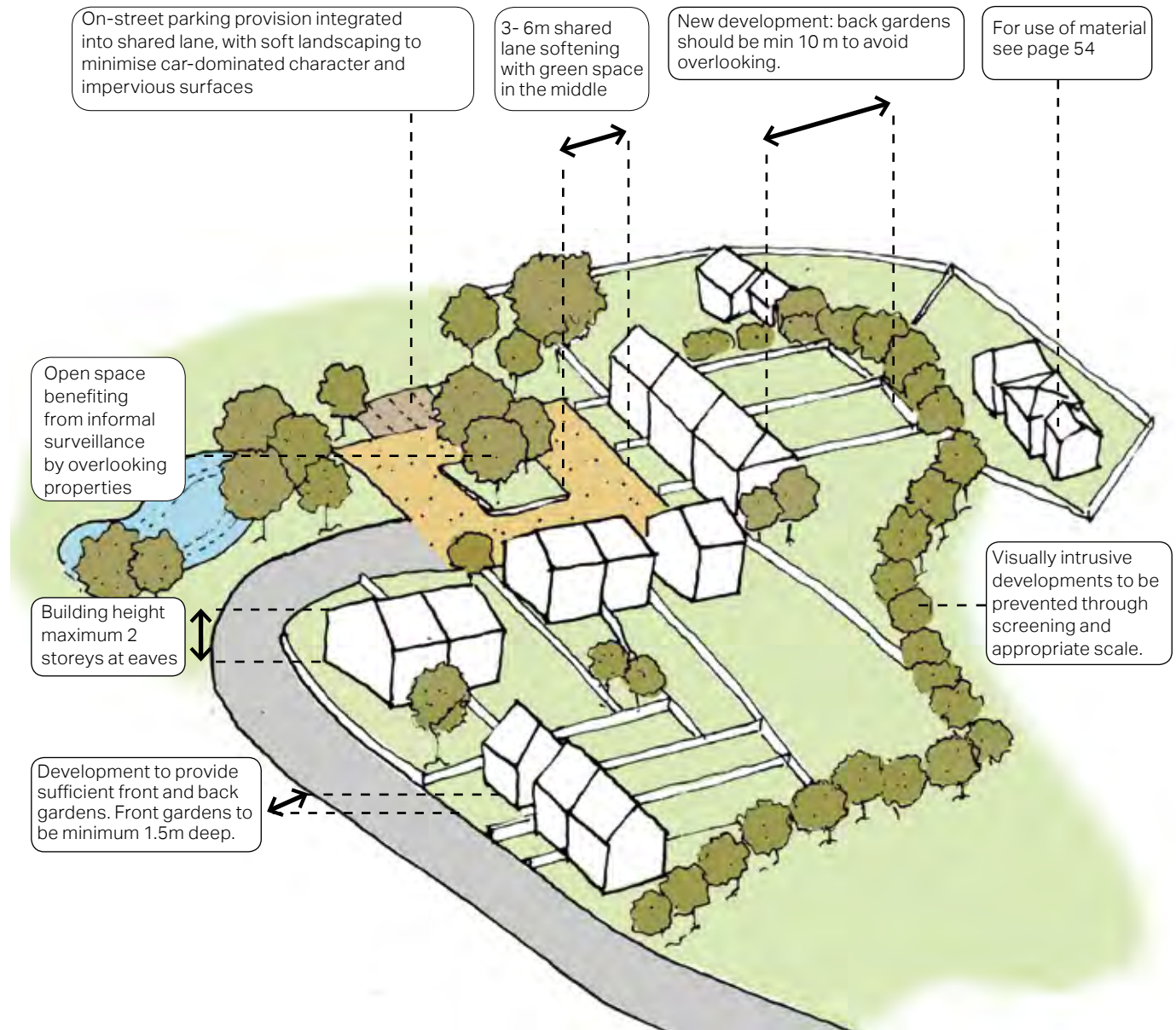


Figure 45: Illustrative plan for a small development highlighting many of the elements of the Northaw and Cuffley code where they relate to the pattern and layout of buildings.

3.3. Pattern and Layout of Buildings

- The existing rural character must be appreciated when contemplating new development, whatever its size or purpose.
- Where an intrinsic part of local character, properties should be clustered in small pockets showing a variety of types. The use of a repeating type of dwelling along the entirety of the street should be avoided (to create variety and interest in the streetscape).
- Boundaries such as walls or hedgerows, whichever is appropriate to the street, should enclose and define each street along the back edge of the pavement, adhering to a consistent building line for each development group.
- Properties should aim to provide rear and front gardens or at least a small buffer to the public sphere where the provision of a front garden is not possible.
- The layout of new development should optimise the benefit of daylighting and passive solar gains as this can significantly reduce energy consumption.
- Mixed-use development should be encouraged to add variety and character and enhance acting along the street/ in the neighbourhood.



Figure 46: Large-sized bungalow on The Ridgeway.



Figure 47: Detached housing in Cuffley.



Figure 48: Detached family house facing Northaw Road West.



Figure 49: Bungalow along The Meadway, Cuffley.

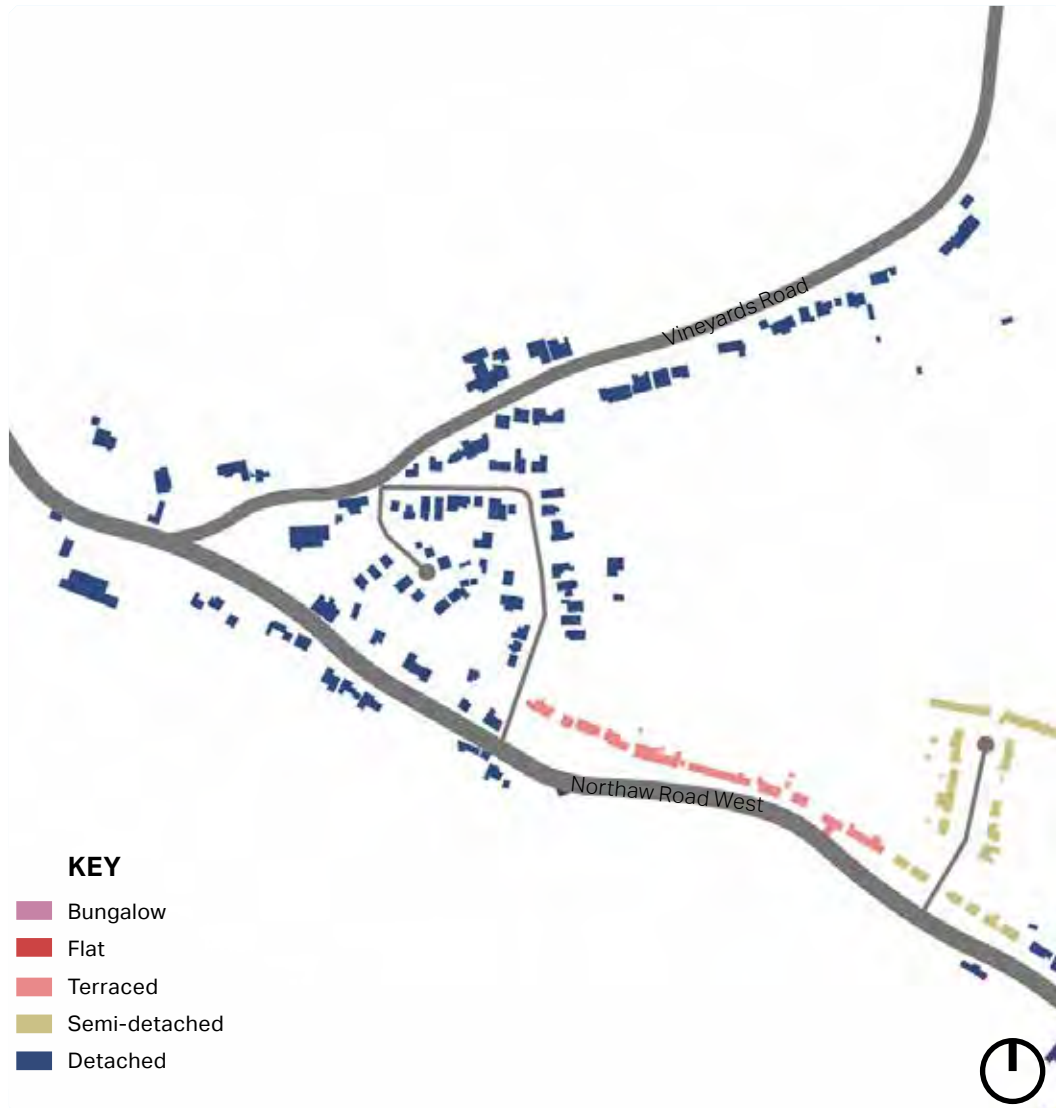


Figure 50: Building types and street network in Northaw.

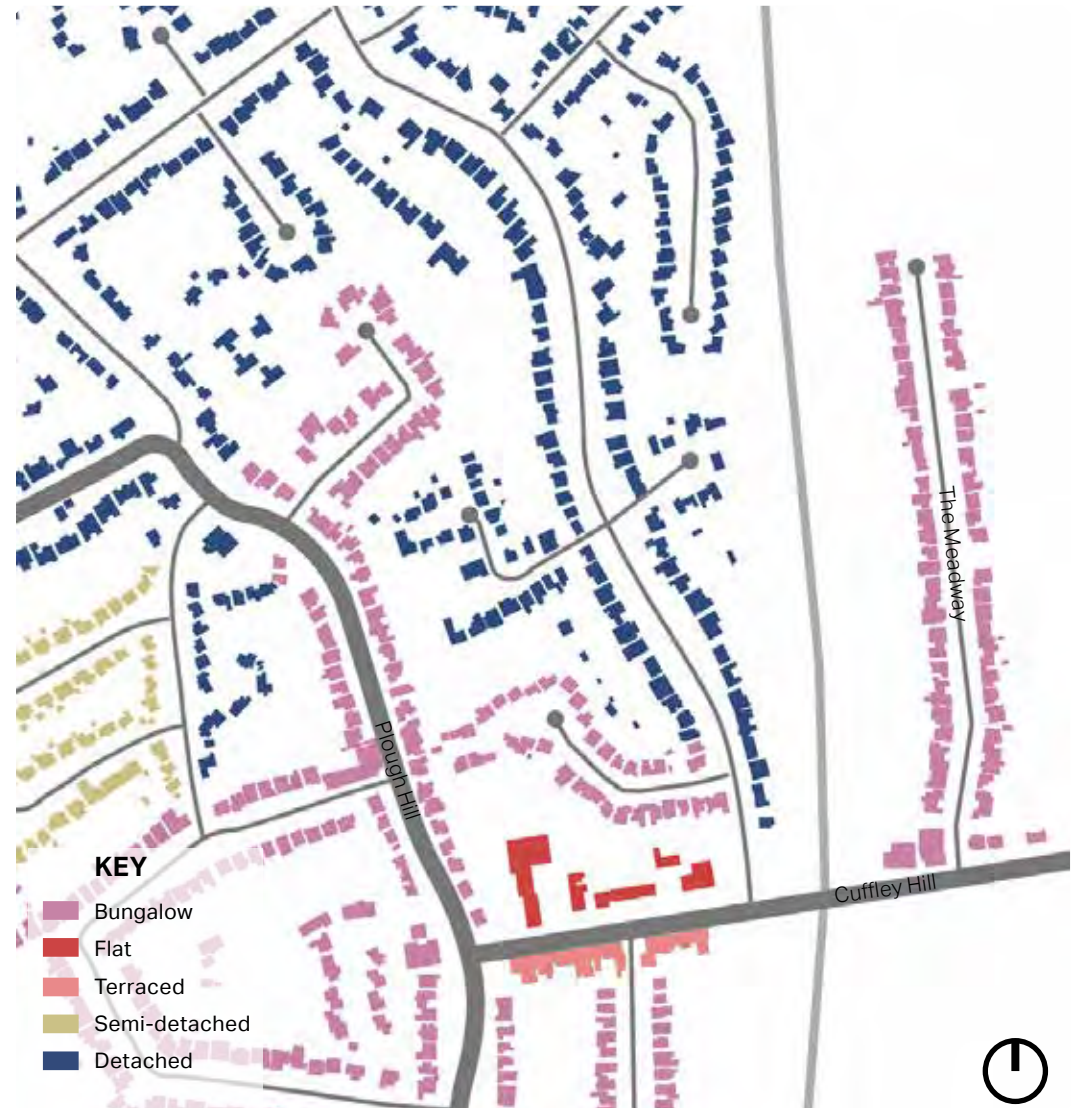


Figure 51: Building types and street network in Cuffley.

3.4. Greenery and Environmental Designations

The rural character of the Neighbourhood Plan Area is quite evident. Natural resources are a consistent asset for both villages. Northaw's territory is included in the Green Belt boundaries whereas Cuffley's main built-up footprint is surrounded by the Green Belt's boundary.

The presence of ancient woodlands, natural reserves, agricultural and farm land as well as of Sites of Scientific Interest (SSSI) is key to Northaw and Cuffley's specific place identity. As green corridors are important in both villages, these should continue to provide linkages between green spaces and hedgerows should be reinstated.

Definitions of the various type of designated green areas have been taken from Welwyn Hatfield Borough Council Draft Local Plan (2016).



Figure 52: Northaw Playing Field on Church lane.



Figure 53: A mature tree on Tolmers Road in Cuffley.



Figure 54: Northaw Community Orchard.



Figure 55: Northaw Great Wood, designated as a Local Nature Reserves.

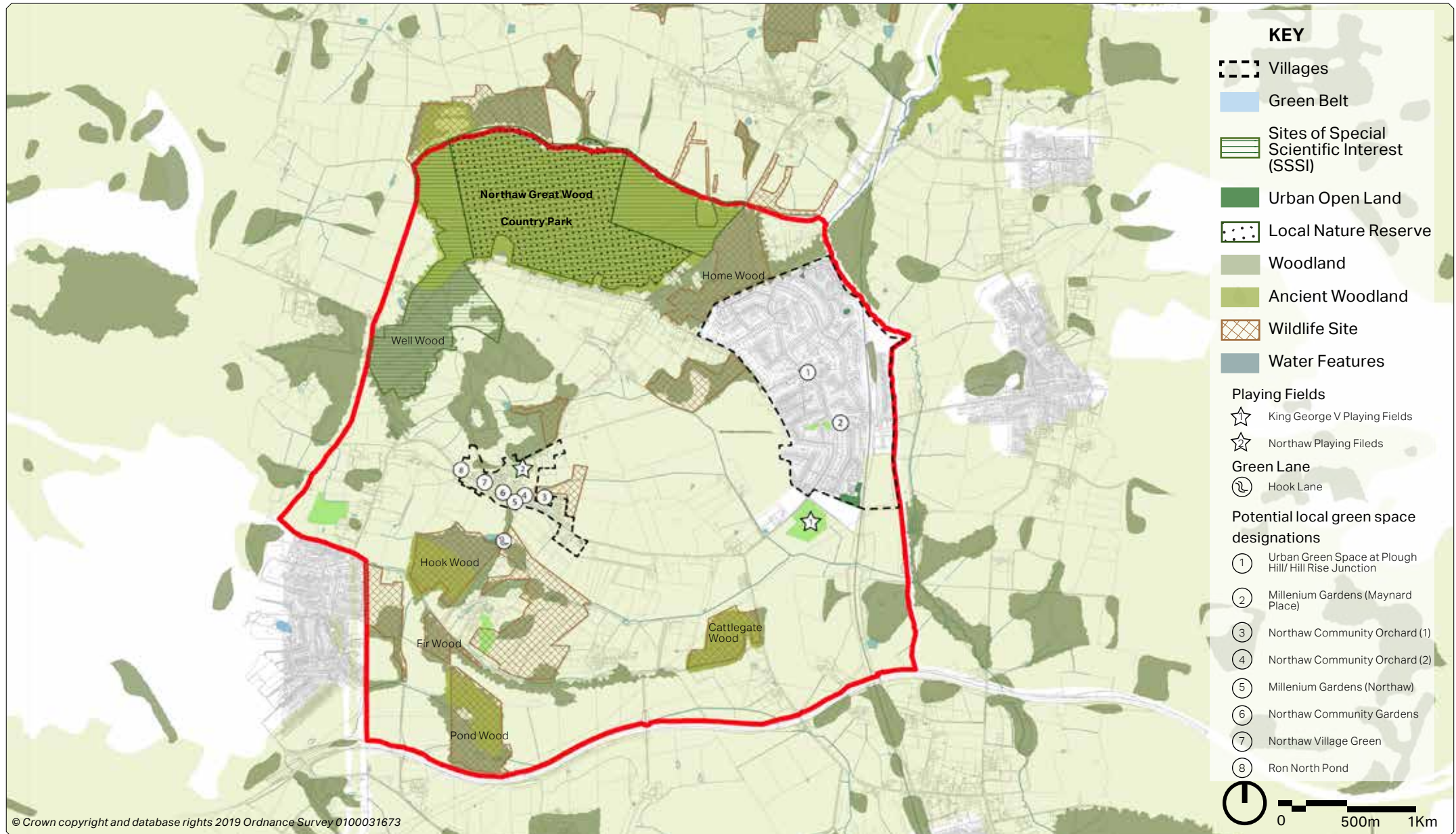


Figure 56: Map showing the different types of greenery in Northaw and Cuffley surrounding.

3.5. Views and Landmarks/settings

- Development adjoining public open spaces and important gaps should enhance the character of these spaces by either providing a positive interface (i.e. properties facing onto them to improve natural surveillance) or a soft landscaped edge;
- Any trees or woodland lost to new development must be replaced.
- The spacing of development should reflect the rural character and allow for long distance views of the countryside from the public realm. Trees and landscaping should be incorporated in the design.
- The existing quiet and peaceful atmosphere of Northaw and Cuffley should be preserved.
- Retention of views is very important to residents and they should be protected in any new development in the future.



Figure 57: Peaceful and quiet atmosphere in Northaw.



Figure 58: 1910 property which was used for railway workers with positive interface.



Figure 59: Tree and landscaping reinforces the rural character of the village in Cuffley.

3.6. Public Realm and Streetscape

- High quality building surface material should be used across any new development. Care should be taken when selecting the material that will be used for the paved area.
- High quality stone, gravel, granite and bricks can provide durable and attractive hard surface throughout the public realm.

All developments within Northaw and Cuffley should incorporate the following landscape principles:

- Areas of public realm can be soft or hard or a combination of both.
- Landscaping and public realm should be interconnected to create a network of green infrastructure both within any site and to connect to wider routes and places.
- Existing landscape features (such as tree, flower beds, hedgerow) should be retained and where possible their presence should be enhanced by new landscape elements.
- All public space should be clearly defined and designed to fulfil specific roles and functions for different range of users.



Figure 60: Public realm in Cuffley with street furniture and a fountain.



Figure 61: Public realm in Northaw with the combination of soft and hard landscaping.



Figure 62: Use of concrete in public realm.
AECOM

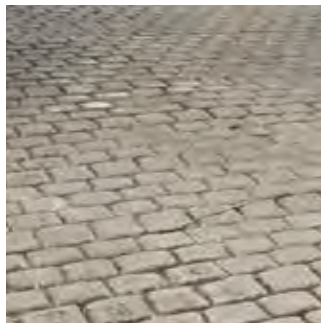


Figure 63: Use of stone in streetscape.



Figure 64: William Leefe Robinson memorial in Cuffley.



Figure 65: St Thomas a Becket Church and the War Memorial.

3.7. Household Extensions

- The original building should remain the dominant element of the property regardless the amount of extension. The newly built extension should not overwhelm the building from any given point
- Extensions should not result in a significant loss to the private amenity area of the dwelling.
- Designs that wrap around the existing building and involve overly complicated roof forms should be avoided.
- The pitch and form of the roof used on the building adds to its character and extensions should respond to this where appropriate.
- Extensions should consider the materials, architectural features, window sizes and proportions of the existing

building and recreate this style to design an extension that matches and complements the existing building.

- In case of side extensions, the new part should be set back from the front of the main building and retain the proportions of the original building. This is in order to reduce any visual impact of the join between existing and new.
- In case of rear extensions, the new part should not have a harmful effect on neighbouring properties in terms of overshadowing, overbearing or privacy issues.
- Depending on their dimensions, extensions outside the Conservation Area maybe covered by Permitted Development Rights, meaning that they may not need planning permission.
- Extensions should not be made right up to boundary line (plot boundary).



Figure 66: Successful side and front extension in Northaw.
40



Good example for side extensions, respecting existing building scale, massing and building line.



Both extension present a negative approach when considering how it fits to the existing building. Major issues in regarding roofline and building line.



The extension has an appropriate scale and massing in relation to the existing building.

Design treatment in case of loft conversion:



Loft conversion incorporating skylights.



Loft conversion incorporating gabled dormers.



Loft conversion incorporating a long shed dormer which is out of scale with the original building.



Original roofline of an existing building.



Loft conversion incorporating gabled dormers.



Loft conversion incorporating gabled dormers which are out of scale and do not consider existing window rhythm nor frequency.



Figure 67: Positive Design for side extension on Northaw Road West.



Figure 68: Positive design for side building.



Figure 69: Positive design for side extension, habitable space and garage amenity.

3.8. Street dimension to be fit for purpose

- Streets must meet the technical highways requirements as well as being considered a 'place' to be used by all, not just motor vehicles. It is essential that the design of new development should include streets and junctions that incorporate the needs of pedestrians, cyclists, and if applicable, public transport users. It is also important that on-street parking, where introduced, does not impede the access of pedestrians and other vehicles.
- Within the settlement boundaries, streets should not be built to maximise vehicle speed or capacity. Streets and junctions must be designed with the safety and accessibility of vulnerable groups such as children and wheelchair users in mind, and may introduce a range of traffic calming measures.
- New streets should tend to be linear with gentle meandering, providing interest and evolving views while helping with orientation. Routes should be laid out in a permeable pattern, allowing for multiple connections and choice of routes, particularly on foot. Any cul-de-sacs should be relatively short and provide onward pedestrian links.
- The distribution of land uses should respect the general character of the area and street network, and take into account the degree of isolation, lack of light pollution, and levels of tranquillity. Pedestrian access to properties should be from the Street where possible.
- Streets must incorporate opportunities for landscaping, green infrastructure, and sustainable drainage.



Figure 70: Evolving view on Northaw Road West.



Figure 71: Station Road, Cuffley.



Figure 72: A view from The Ridgeway to Northaw Great Wood Country Park.

The following pages introduce suggested guideline and design features including a range of indicative dimensions for street types in the new residential areas.

Primary Roads

- Primary roads are the widest neighbourhood roads and constitute the main accesses into any village extension, connecting the neighbourhoods with each other. They are also the main routes used for utility and emergency vehicles, as well as buses, if any.
- The design and character of primary roads must strike an optimum balance between their place-making role at the heart of the new community and their role as supporting through-routes.
- Primary roads must be defined by strong building lines with generous set-backs. Blank frontages must be avoided. The quality of the public realm must be of a high standard and consistent throughout the whole primary road, for example through the planting of trees and/or green verges along the road.
- Because primary roads are designed for comparatively higher speed and traffic volumes, they are more appropriate locations for cycle ways that are segregated from traffic, for instance in the form of green ways shared between cyclists and pedestrians.

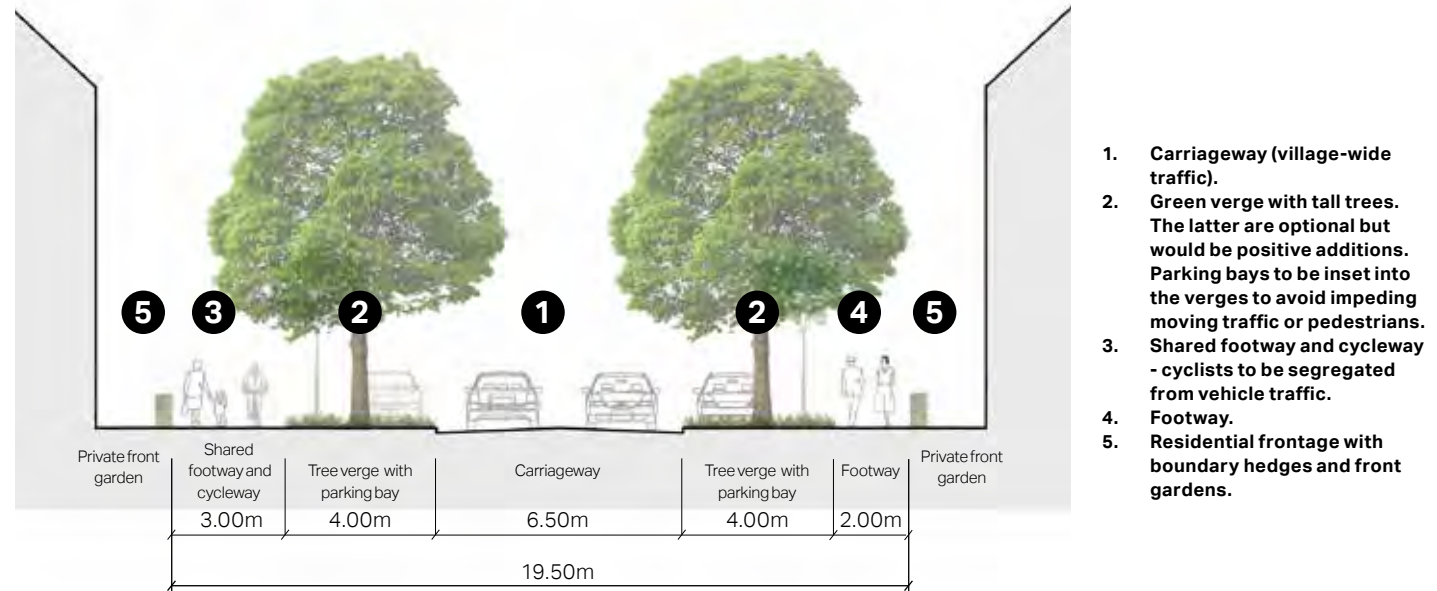


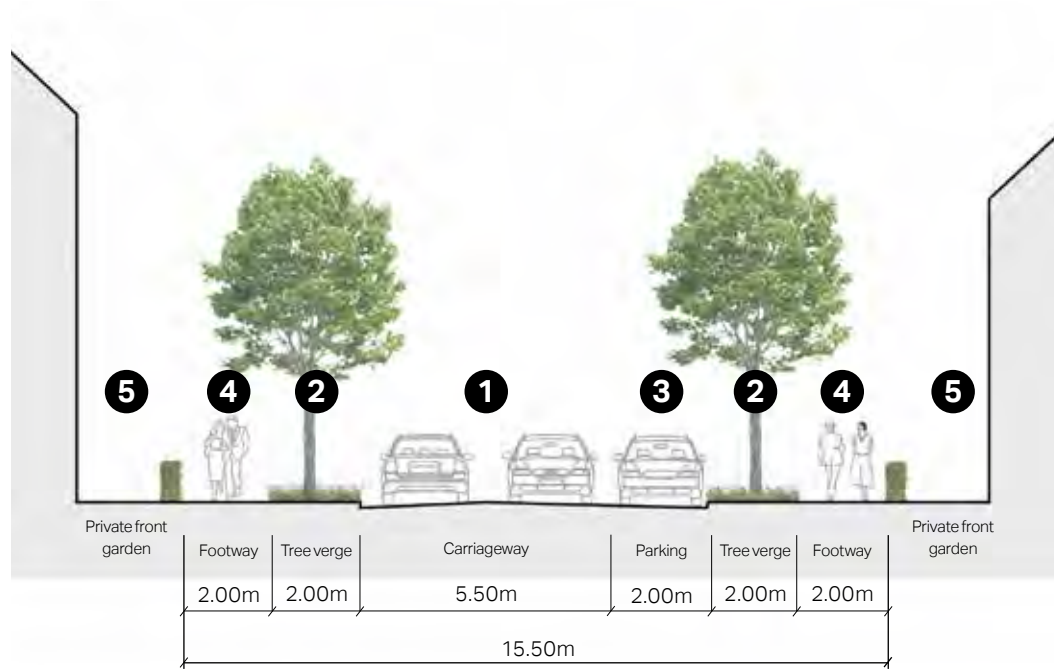
Figure 73: Section showing indicative dimensions for primary roads. In some places trees may be omitted from one or both sides although they help with placemaking, contribute to local biodiversity, and create a positive micro-climate.



Figure 74: An example showing primary road framed by wide tree verges in a residential neighbourhood. It is recommended that cycle provisions are separated from moving traffic and that parking bays, where required, are inset into the verges to avoid impeding the movement of pedestrians and vehicles.

Secondary Roads

- Secondary roads provide access between primary roads and neighbourhoods and clusters. They should emphasise the human scale and be designed for lower traffic volumes compared to primary roads.
- Secondary roads should accommodate carriageways wide enough for two-way traffic and on-street parallel car parking bays. They may also include tree verges on one or both sides. On-street parking may consist either in marked bays or spaces inset into green verges.
- Carriageways should be designed to be shared between motor vehicles and cyclists. Vertical traffic calming features such as raised tables may be introduced at key locations.



1. Shared carriageway (neighbourhood traffic). Traffic calming measures may be introduced at key locations.
2. Green verge with medium trees. The latter are optional but would be positive additions.
3. Parking bay (may also be inset into verges).
4. Footway.
5. Residential frontage with boundary hedges and front gardens.

Figure 75: Section showing indicative dimensions for secondary roads. In some places tree verges may be omitted from one or both sides, and parking bays may alternate with tree verges.

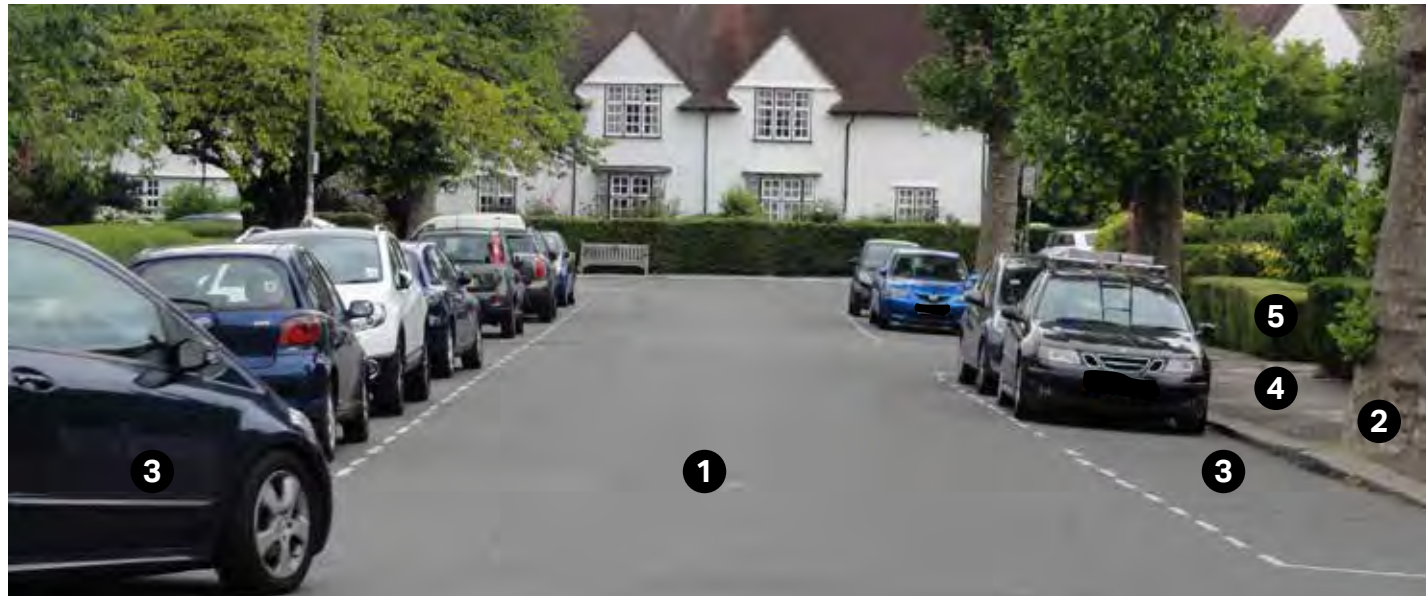
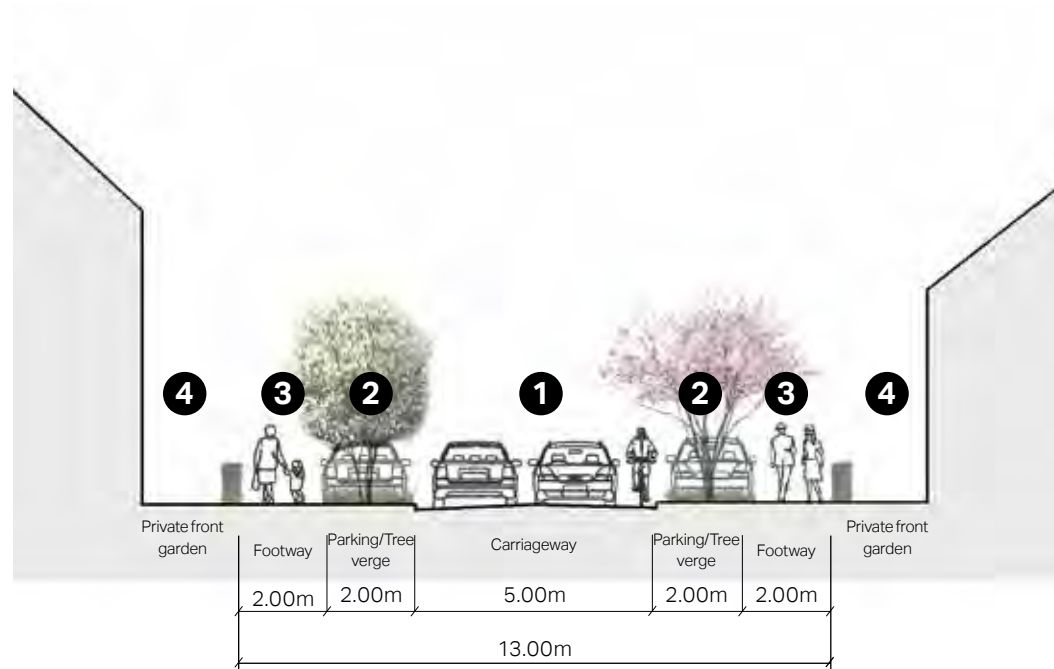


Figure 76: Example of a secondary road (note: parking bays may be inset into verges).

Tertiary Roads

- Tertiary roads have a strong residential character and provide direct access to residences from the secondary roads. They should be designed for low traffic volumes and low speed.
- Carriageways should accommodate two-way traffic and parking bays on both sides. They may also include green verges with small trees on one or both sides. Verges may alternate with parking to form inset parking bays. These roads should also accommodate footways with a 2m minimum width on either side, and must be designed for cyclists to mix with motor vehicles. Traffic calming features such as raised tables can be used to prevent speeding.



1. Shared carriageway (local access). Traffic calming measures may be introduced at key locations.
2. Green verge with small trees. The latter are optional but would be positive additions. Parking bays on both sides of the carriageway to alternate with trees to avoid impeding moving traffic or pedestrians.
3. Footway.
4. Residential frontage with boundary hedges and front gardens.

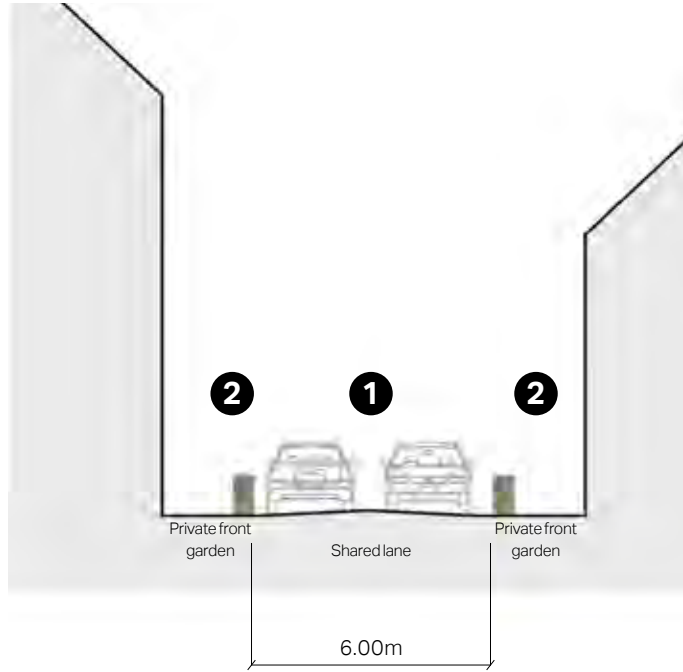
Figure 77: Section showing indicative dimensions for tertiary roads. In some places tree verges may be omitted from one or both sides.



Figure 78: Tertiary road framed with footpath on both sides.

Lanes/Private Drives

- Lanes and private drives are the access only types of streets that usually serve a small number of houses. They should be minimum 6m wide and serve all types of transport modes including walking and cycling, and allow sufficient space for parking manoeuvre.
- Lanes and private drives should be bordered by hedges and/or private gardens to soften the landscape.
- Shared surface should be encouraged for pedestrian and vehicular use in order to aid traffic calming with different colour materials, surface treatments and planting (Figure 80).



1. Shared lane (local vehicle access, cyclists, and pedestrians).
2. Residential frontage with front hedges and gardens.

Figure 79: Section showing indicative dimensions for lanes and private drives.



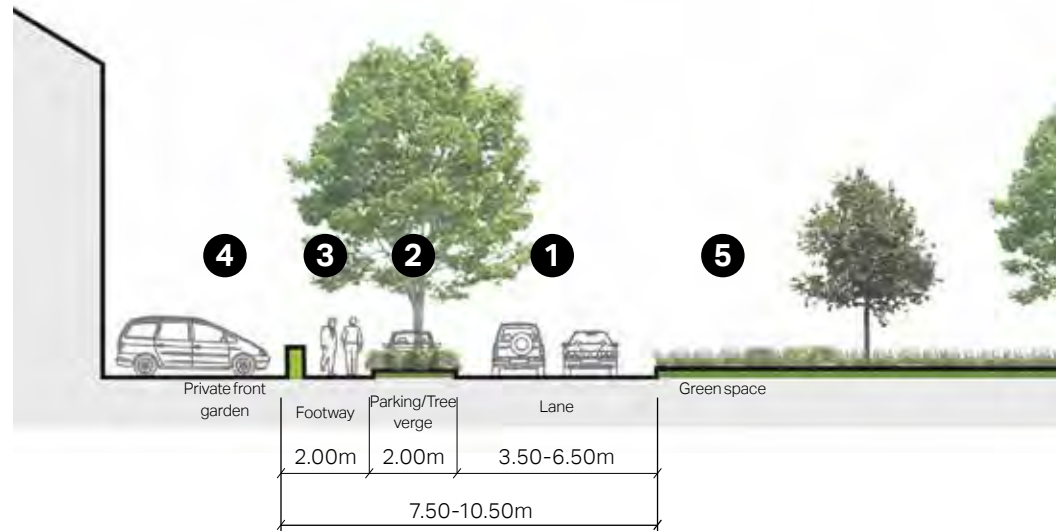
Figure 80: Shared surface street.



Figure 81: Front gardens soften the landscape on Coopers Lane, Northaw.

Edge Lanes

- Edge lanes are low-speed and low-traffic roads that front houses with gardens on one side and a green space on the other. Carriageways typically consist of a single lane of traffic in either direction and are shared with cyclists.
- The lane width can vary to discourage speeding and introduce a more informal and intimate character. Variations in paving materials and textures can be used instead of kerbs or road markings.



1. Shared lane (local access) - width to vary.
2. Green verge with trees. The latter are optional but would be positive additions. Parking bays to be interspersed with trees to avoid impeding moving traffic or pedestrians.
3. Footway.
4. Residential frontage with boundary hedges and front gardens.
5. Green space.

Figure 82: Section showing indicative dimensions for edge lanes. The lane width may vary to discourage speeding or provide space for parking.



Figure 83: Examples of edge lanes, with low-speed roads shared between motor vehicles and cyclists, and opportunities for on-street parking (note: some localities may prefer clearly defined footways and parking bays).

3.9. Ensure that car parking is designed with quality of place in mind

- Parking areas are a necessity of modern development. However, they need not to be unsightly.
- When placing parking at the front, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials. The aim is to keep a sense of enclosure and to break the potential of a continuous area of car parking in front of the dwellings. This can be achieved by means of walls, hedging, planting, and the use of quality paving materials.
- When needed, residential car parking can be a mix of on-plot side, front, garage, and courtyard parking, and complemented by on-street parking.
- For family homes, cars should be placed at the side (preferably) or front of the property. For small pockets of housing, a rear court is acceptable.
- Car parking design should be combined with landscaping to minimise the presence of vehicles.
- Parking areas and driveways should be designed to ameliorate impervious surfaces, for example, through the use of permeable paving.
- The following pages provide an array of complementary car parking solutions that can be employed in Northaw and Cuffley.



Figure 84: On-plot side parking in Northaw.



Figure 85: On plot garages, Cuffley.



Figure 86: On-plot front parking in Cuffley.



Figure 87: Disabled parking bay with ramp for easy wheelchair access.

On-Plot Side or Front Parking

- On-plot parking can be visually attractive when it is combined with high quality and well designed soft landscaping. Front garden depth from pavement back should be sufficient for a large family car.
- Boundary treatment is the key element to help avoid a car-dominated character. This can be achieved by using elements such as hedges, trees, flower beds, low walls, and high quality paving materials between the private and public space.
- Hard standing and driveways should be constructed from porous materials to minimise surface water run-off.



Figure 88: Residential on-plot front parking on Northaw Road West.

1. Front parking with part of the surface reserved for soft landscaping. Permeable pavement to be used whenever possible.
2. Side parking set back from the main building line. Permeable pavement to be used whenever possible.
3. Boundary hedges to screen vehicles and parking spaces.

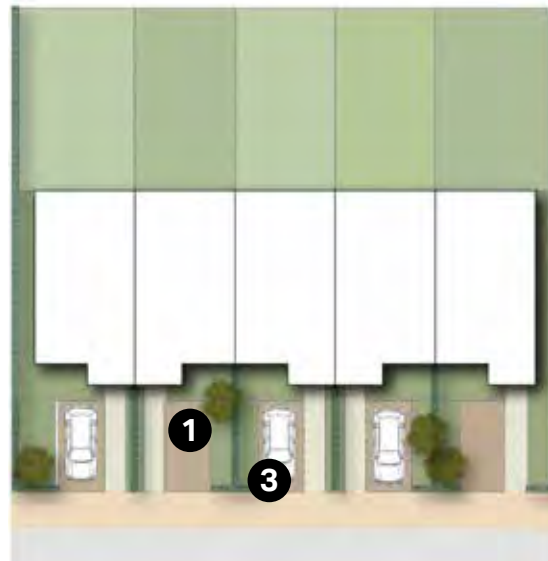


Figure 89: An illustrative diagram showing an indicative layout of on-plot front parking.



Figure 90: An illustrative diagram showing an indicative layout of on-plot side parking.

On-Plot Garages

- Where provided, garages should be designed either as free standing structures or as an additive form to the main building. In both situations, it should reflect the architectural style of the main building, and visually be an integral part of it rather than a mismatched unit.
- Often, garages can be used as a design element to create a link between buildings, ensuring continuity of the building line. However, it should be considered that garages are not prominent elements and they should be designed accordingly.
- It should be noted that many garages are not used for storing vehicles, and so may not be the best use of space. Garages should be large enough for a modern car to fit into and if smaller should not count as a parking space. Suggested minimum size for a single garage 3m wide x 6.1m long with a door width of 2.7m.
- Considerations should be given to the integration of bicycle parking and/or waste storage into garages.



Figure 91: On-plot garage in Cuffley.

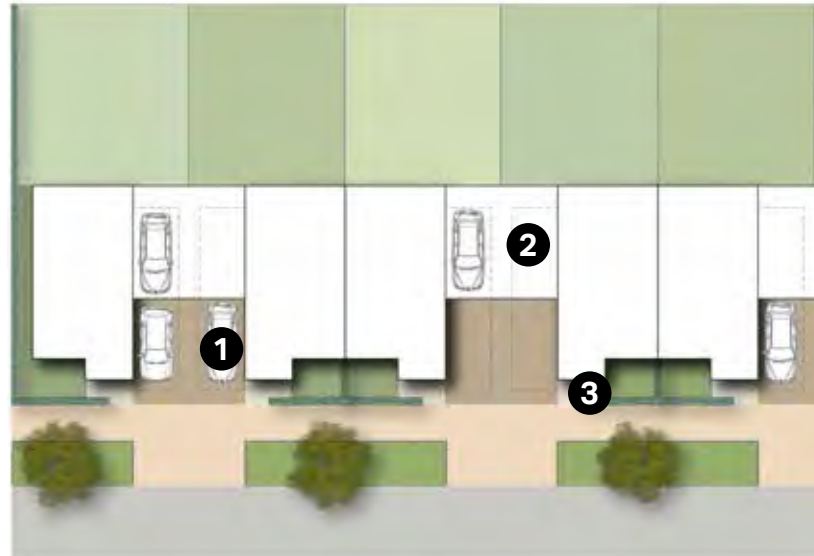


Figure 92: An illustrative diagram showing an indicative layout of on-plot side parking.

1. Side parking set back from the main building line. Permeable pavement to be used whenever possible.
2. Garage structure set back from main building line. Height to be no higher than the main roofline.
3. Boundary hedges to screen vehicles and parking spaces.

Rear Parking Courtyards

- This parking arrangement can be appropriate for a wide range of land uses. It is especially suitable for apartments and village houses fronting busier roads where it is impossible to provide direct access to individual parking spaces.
- All parking courts should benefit from natural surveillance.
- Parking courts should be an integral part of the public realm, hence it is important that high quality design and materials, both for hard and soft landscaping elements, are used.
- Parking bays must be arranged into clusters with widths of 4 spaces maximum and interspersed with trees and soft landscaping to provide shade, visual interest, and to reduce impermeable surface areas.



Figure 93: Rear parking courtyard benefiting from natural surveillance, Northaw Village Hall on Northaw Road West.

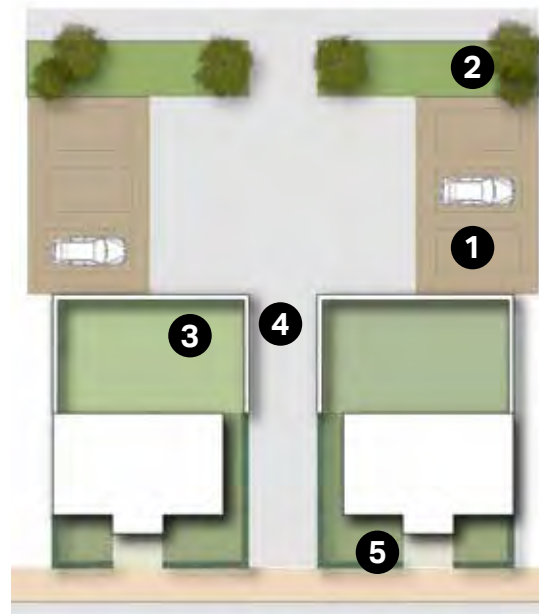


Figure 94: An illustrative diagram showing an indicative layout of on-plot front parking.

1. Rear courtyard parking with soft landscaping. Parking bays to be arranged in clusters of maximum 4 spaces maximum. Permeable pavement to be used whenever possible.
2. Trees and/or soft landscaping to prevent car dominance and add shading.
3. Rear of residential properties - balance to be sought between natural surveillance and privacy.
4. Pedestrian link to main residential frontage.
5. Boundary hedges to screen vehicles and parking spaces.

On-street Parking

- On-street parking can be arranged either perpendicular or parallel to the carriageway where safety concern allow this.
- On-street parking should be designed to avoid impeding the flow of pedestrians, cyclists, and other vehicles, and can serve a useful informal traffic calming function.
- Parking bays can be inset between kerb build outs or street trees. Kerb build outs between parking bays can shorten pedestrian crossing distances and can host street furniture or green infrastructure. They must be sufficiently wide to shelter the entire parking bay in order to avoid impeding traffic.
- On low-traffic residential streets or lanes that are shared between vehicles and pedestrians, parking bays can be marked by paving material changes instead of markings. This provides drivers with indications of where to park, so that parked vehicles do not impede motor vehicle or foot traffic.
- Opportunities should be created for new public car parking spaces to include electric vehicle charging points. Such provision should be located conveniently throughout the village and designed to minimise street clutter.
- Electric vehicle charging points (Figure 96) should be considered in case of new development as they improve sustainability.



Figure 95: On-street parking on Northaw Road West.



Figure 96: An example of inset parking with electric vehicle charging points.

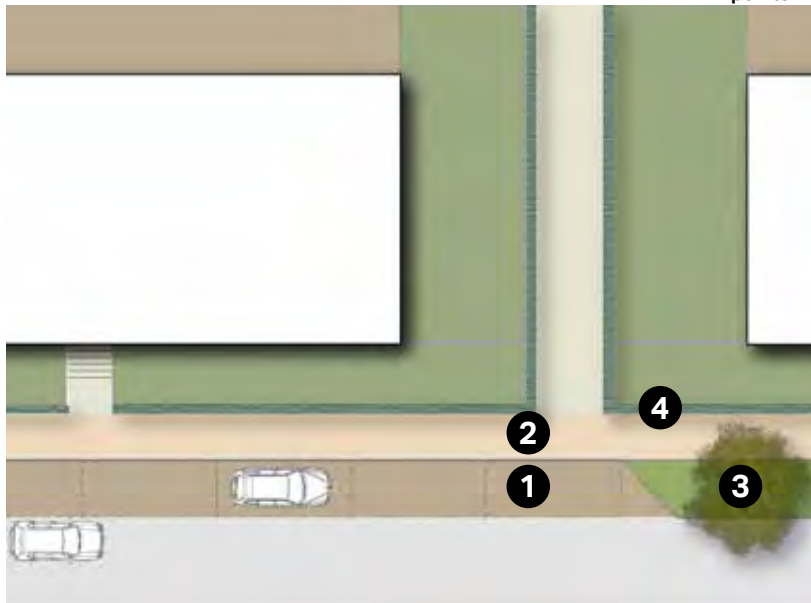


Figure 97: Illustrative diagram showing an indicative layout of on-street inset parking.

1. On-street parking bay inset between kerb extensions.
2. Footway - additional green verge if street width permits.
3. Planted kerb extensions - width to be sufficient to fully shelter parking bay. Trees are optional but would be positive additions.
4. Boundary hedges.

3.10. Boundary Treatment

- Buildings should be aligned along the street with their main facade and entrance facing it, where this is in keeping with local character. The building line should have subtle variation in the form of recesses and protrusions but will generally form a unified whole.
- Buildings should be designed to ensure that streets and/or public spaces have good levels of natural surveillance from buildings. This can be ensured by placing ground floor habitable rooms and upper floor windows overlooking towards the street.
- Boundary treatments should reinforce the sense of continuity of the building line and help define the street, appropriate to the rural character of the area. The use of panel fencing, metal or brick walls in publicly visible boundaries should not be considered good practice. Also, boundary treatments should not impair natural surveillance.
- Properties should tend to have a generously proportioned front and rear garden surrounded by hedgerows and trees;
- Brick wall can dominate if used to much, therefore it is recommended to use soft landscaping and hedgerow planting where possible to soften the impact of brick walls.
- If placed on the property boundary, waste storage should be integrated as part of the overall design of the property. Landscaping could also be used to minimise the visual impact of bins and recycling containers.
- Traditional boundary treatment should be advised such as brick walls in Northaw and an avoidance of using fences and walls which are not appropriate in Cuffley.



Figure 98: Well vegetated front gardens reduce the visual impact of car parking.



Figure 99: Use of brick wall and fences on The Ridgeway in Northaw.



Figure 100: The mixture of hedges and short brick wall on Tolmers Road in Cuffley.

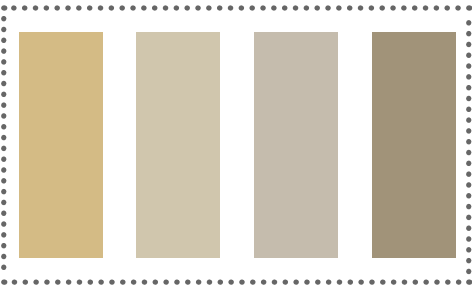


Figure 101: Traditional boundary treatment in Northaw, Red brick wall along with hedges on The Ridgeway, Northaw.

3.11. Materials and Building Details

The materials and architectural detailing used throughout Northaw and Cuffley contribute to the rural character of the area and the local vernacular. It is therefore important that the materials used in proposed development are of a high quality and reinforce local distinctiveness. Any future development proposals should demonstrate that the palette of materials has been selected based on an understanding of the surrounding built environment.

This section includes examples of building material that contribute to the local vernacular of Northaw and Cuffley which could be used to inform future development.



Warm beige tones for brick and rendering as colour choice for building material.



Brown tones for roof as colour choice for building materials.



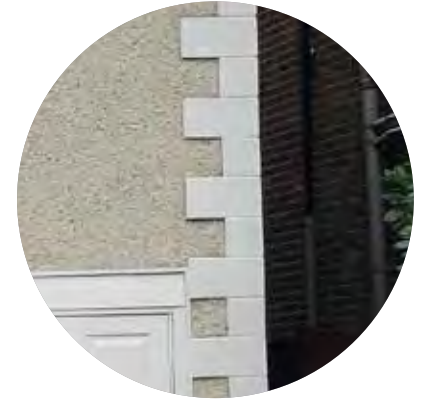
HIPPED DORMER



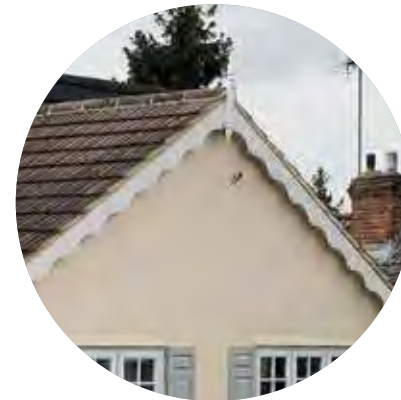
RED BRICK WALL



SHED DORMER



QUOINS



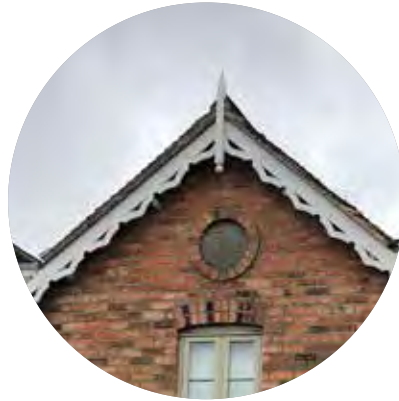
DECORATIVE BARGEBOARD GABLE



TIMBER FRAMING
AECOM



SASH WINDOW



DECORATIVE BARGEBOARD
GABLE



DARK-BROWN SLATE



SOLAR PANELS, ALTHOUGH THEY
SHOULD BE LESS INTRUSIVE THAN HERE



CASEMENT WINDOW



BAY WINDOW



RED PANTILE



BLACK WEATHERBOARDING



YELLOW BRICK



GABLED PORCH



YELLOW RENDER



ROOF WINDOW

3.12. Sustainability and eco design

Energy efficient or ecological design combines all around energy efficient construction, appliances and lighting with commercially available renewable energy systems, such as solar water heating and solar electricity. It should also be noted that sustainability is not just limited to a building's energy performance.

Furthermore, sustainable drainage systems are a critical aspect of water sensitive urban design (WSUD), in which water management and the urban landscape are integrated for mutual benefit.

Starting from the design stage, there are strategies that can be incorporated towards passive solar heating, cooling and landscaping which are determined by local climate and site conditions. The aim of these interventions is to reduce overall domestic energy use and to do so as cost effectively as the circumstances allow for.

Planning applications will be expected to show how they have maximised the potential for use of renewable energy, including communal ground source heating and demonstrate an ability to comply with the government's requirement to stop using gas for domestic purposes by 2050.

High performance residential buildings

Energy efficient or eco homes combine all around energy efficient construction, appliances, and lighting with commercially available renewable energy systems, such as solar water heating and solar electricity.

Starting from the design stage there are strategies that can be incorporated towards passive solar heating, cooling and energy efficient landscaping which are determined by local climate and site conditions.

The aim of these interventions is to reduce home overall energy use as cost effectively as the circumstances allow for. Whereas, the final step towards a high performance building would consist of other on-site measures towards renewable energy systems.

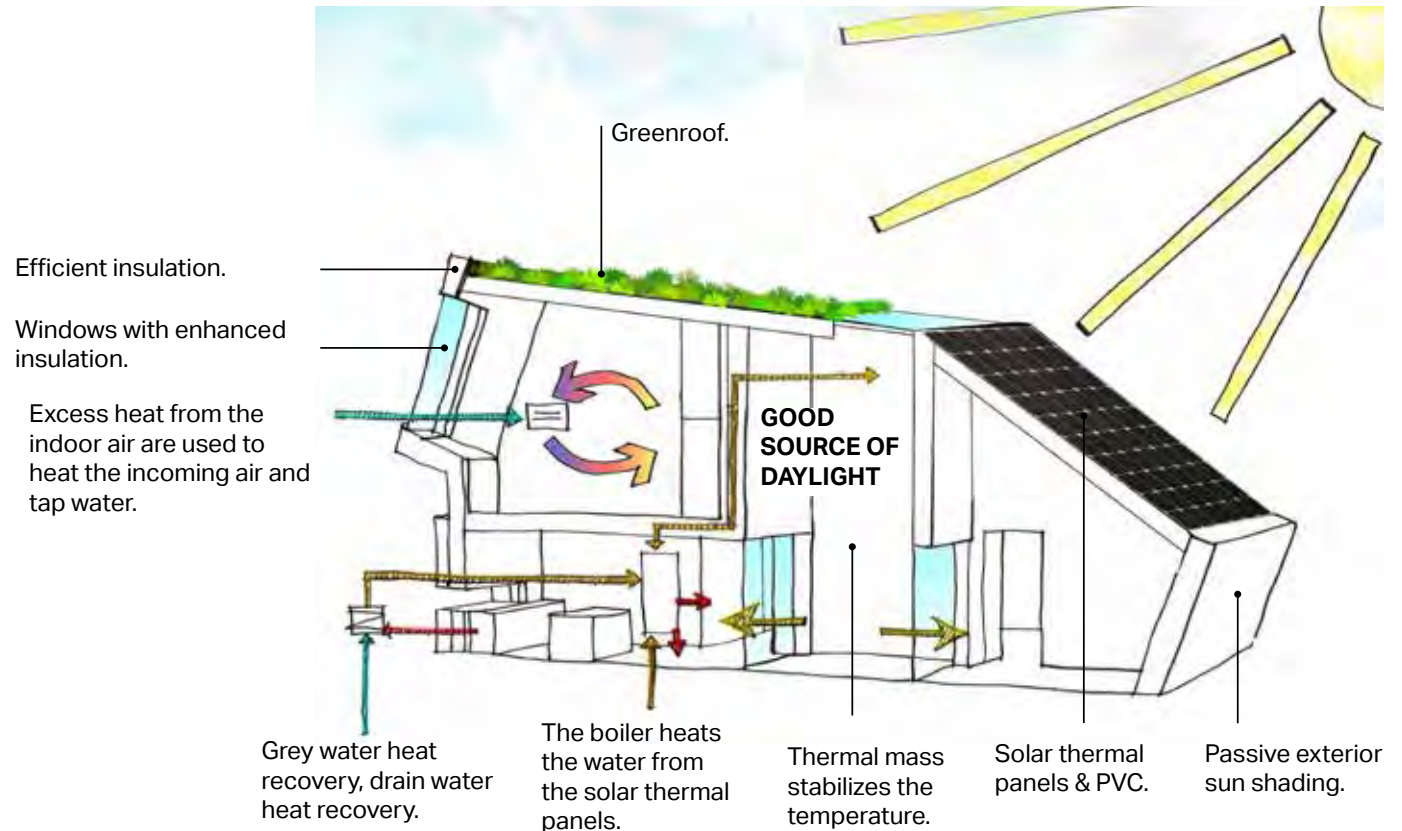


Figure 102: Diagram showing considerations for energy efficient buildings.

Rainwater harvesting

This refers to the systems allowing the capture and storage of rainwater as well as those enabling the reuse in-situ of grey water. These systems involve pipes and storage devices that could be unsightly if added without an integral vision for design.

Therefore some design recommendation would be to:

- Conceal tanks by cladding them in complementary materials;
- Use attractive materials or finishing for pipes;
- Combine landscape/planters with water capture systems;
- Underground tanks; and,
- Utilise water bodies for storage.

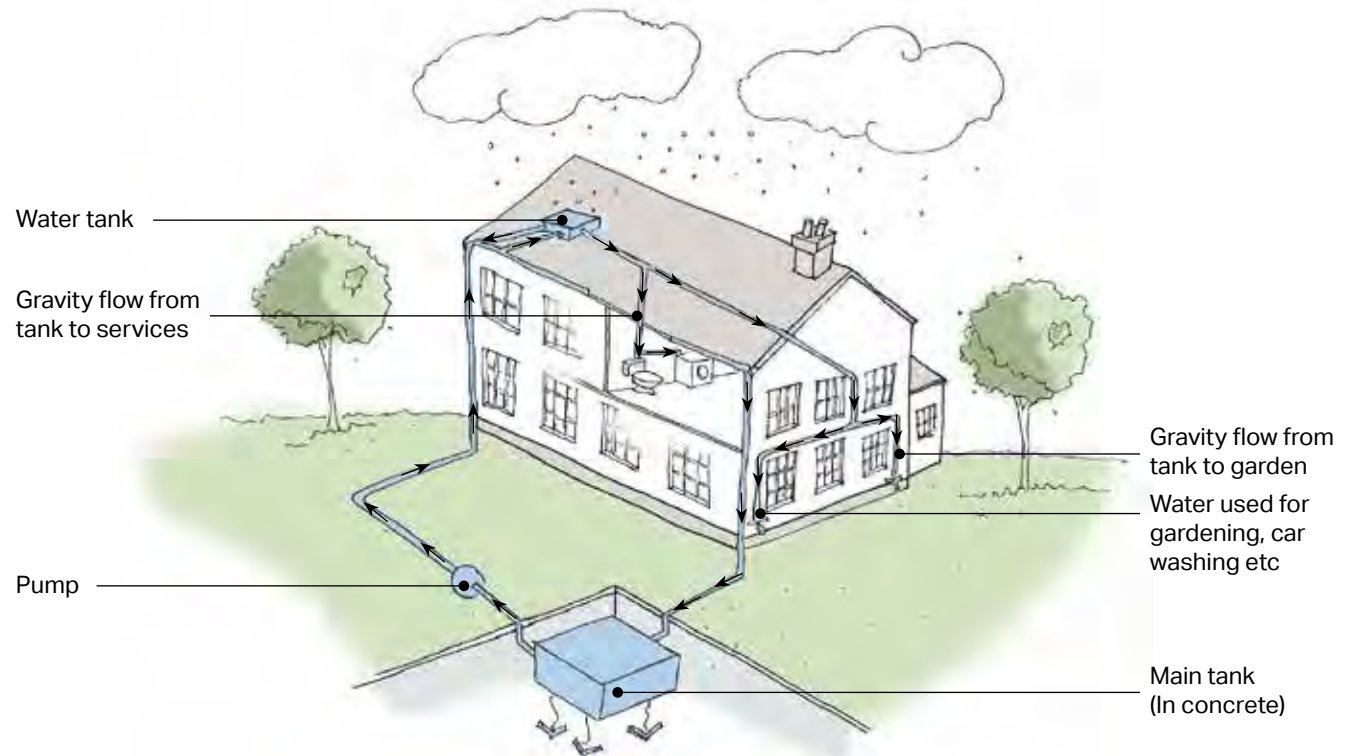


Figure 103: Diagram showing the rain harvesting process.



Figure 104: Examples of tanks used for rainwater harvesting.

Solar roof panels

Solar panels on roofs should be designed to reduce their visual impact. There are many other forms of energy production - solar panels are just one example.

On new builds, they should be designed in from the start, forming part of the design concept. Some attractive options are solar shingles and photovoltaic slates or tiles. In this way, the solar panels can be used as a roofing material in their own right.

On retrofits:

- Analyse the proportions of the building and roof surface in order to identify the best location and sizing of panels;
- Aim to conceal wiring and other necessary installations; and,
- Consider introducing other tile or slate colours to create a composition with the solar panel materials.



Figure 105: Example images showing different approaches to solar panels; all aiming to make a positive appearance by blending, contrasting or making a main feature.

Green roofs and walls

Green roofs¹ and green walls² are generally acceptable. Whether they are partially or completely covered with vegetation, their design should follow some design principles such as:

- Where applicable plan and design this feature from the start;
- Develop a green roof that is easy to reach and maintain;
- Ensure the design, materials and proportions complement the surrounding landscape;
- Helps to integrate the building with the countryside;
- Design comprehensively with other eco-solutions such as water harvesting and pavements;
- Use them to improve a dull urban element such as a blank wall.



1. A roof covered with vegetation, designed for its aesthetic value and to optimise energy conservation (www.dictionary.com).

2. A structure covered in plants that can be attached to the wall of a building (<https://www.oxfordlearnersdictionaries.com>).

Figure 106: Example images showing ways to use green roofs and walls.

Waste storage

With modern requirements for waste separation and recycling, the number and size of household bins has increased. This poses a problem with the aesthetics of the property. Thus we recommend the following:

- Waste bins should be stored at the rear of the properties where possible and especially if they are easily accessible;
- Create a specific enclosure of sufficient size for all the necessary bins;
- Place it within easy access from the street and, where possible, able to open on the pavement side to ease retrieval;
- Refer to the materials palette to analyse what would be a complementary material;
- Use it as part of the property boundary;
- Add to the environmentally sustainable design by incorporating a green roof element to it;
- It could be combined with cycle storage;
- Compost bins should be encouraged in gardens.

Post boxes and deliveries storage

- Flats and housing (including converted houses) must be provided with lockable individual post boxes as well as secured deposit for parcel deliveries;
- Individual homes should have a post box. This could be recessed or added on. It must complement the aesthetics of the main dwelling.



Figure 107: Example images showing the creation and use of waste storage using timber and planting to create an effect of order and to contain multiple bins and containers.



Figure 108: Example images showing ways to address post and delivery storage

Permeable paving

Pavements add to the composition of the building. Thus permeable pavements should not only perform their primary function which is to let water filter through but also:

- Respect the material palette;
- Help to frame the building;
- Be easy to navigate by people with mobility aids;
- Be in harmony with the landscape treatment of the property; and
- Help define the property boundary.

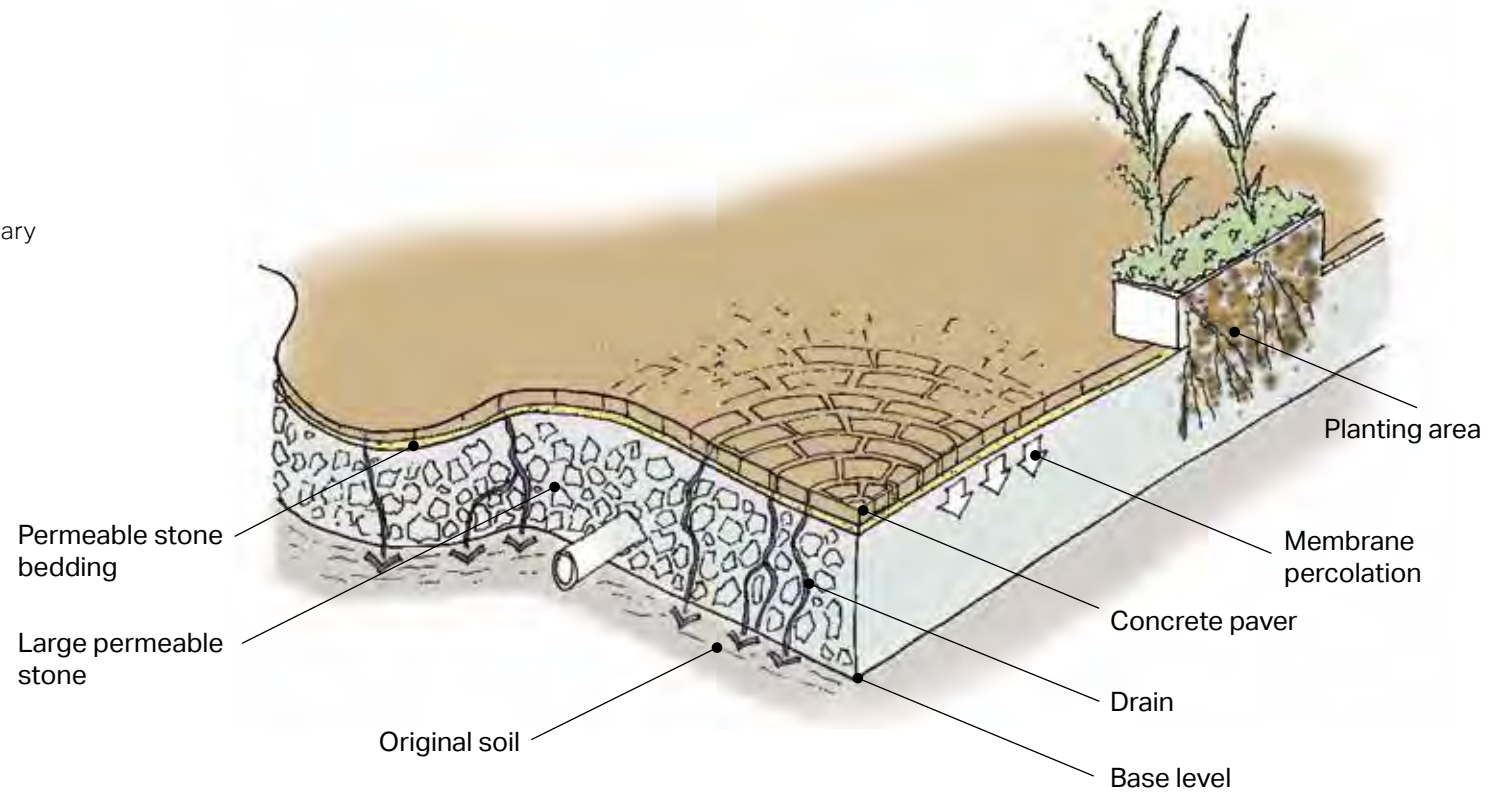


Figure 109: Permeable paving and considerations diagram.

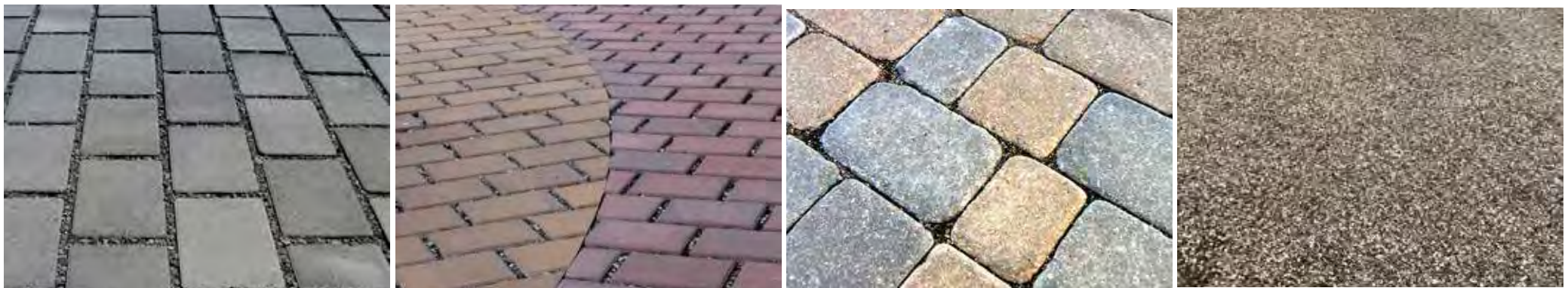


Figure 110: Examples of permeable paving.

Cycle storage

- Create a specific enclosure of sufficient size for bikes. The size will depend on the size of dwelling, but as a general rule it should be at least one space per bedroom;
- If not built as part of an enclosure, make sure there are racks or hoops to secure the bikes;
- Whether covered or open, place the spaces so that retrieval and manoeuvring is easy;
- Refer to the materials palette to analyse which would be a complementary material;
- Use it as part of the property boundary;
- Add to the environmentally sustainable design by incorporating a green roof element to it;
- It could be combined with waste storage.



Figure 112: Indicative layout of a garage with a cycle storage area.

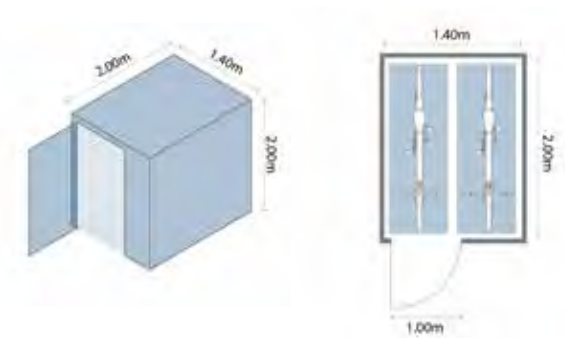


Figure 113: Secure covered cycle store for two cycle storage illustration.



Figure 111: Example images showing ways to address cycle storage .



Managing lighting

Artificial light provides valuable benefits to society, for example extending opportunities for sport and recreation, and can be essential to a new development.

Equally, artificial light is not always necessary, has the potential to become what is termed 'light pollution' or 'obtrusive light' and not all modern lighting is suitable in all locations. It can be a source of annoyance to people, harmful to wildlife, undermine enjoyment of the countryside or detract from enjoyment of the night sky.

For maximum benefit, the best use of artificial light is about getting the right light, in the right place and providing light at the right time. Lighting schemes can be costly and difficult to change, so getting the design right and setting appropriate conditions at the design stage is important. The following guideline aim to ensure there is enough consideration given at the design stage.

- Ensure that lighting schemes will not cause unacceptable levels of light pollution particularly in intrinsically dark areas. These can be areas very close to the countryside or where dark skies are enjoyed;
- Consider lighting schemes that could be turned off when not needed ('part-night lighting') to reduce any potential adverse effects; i.e.. when a business is closed or, in outdoor areas, switching off at quiet times between midnight and 5am or 6am. Planning conditions could potentially be used to enforce this;
- Impact on sensitive wildlife receptors throughout the year, or at particular times (e.g. on migration routes), may be mitigated by the design of the lighting or by turning it off or down at sensitive times;

- Glare should be avoided, particularly for safety reasons. This is the uncomfortable brightness of a light source due to the excessive contrast between bright and dark areas in the field of view. Consequently, the perceived glare depends on the brightness of the background against which it is viewed. It is affected by the quantity and directional attributes of the source. Where appropriate, lighting schemes could include 'dimming' to lower the level of lighting (e.g. during periods of reduced use of an area, when higher lighting levels are not needed);
- The needs of particular individuals or groups should be considered where appropriate (e.g. the safety of pedestrians and cyclists). Schemes designed for those more likely to be older or visually impaired may require higher levels of light and enhanced contrast, together with more control, as the negative effects of glare also increase with age;

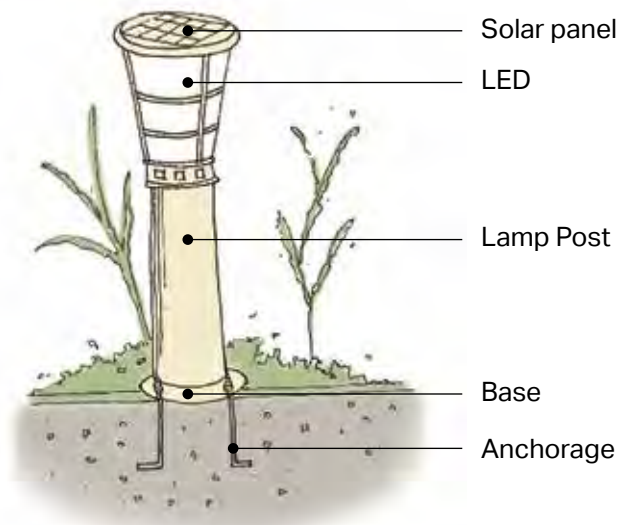


Figure 114: Diagram showing the garden lighting considerations. Solar panel at the top of garden lighting promotes use of green energy.

- Consider the location of premises where high levels of light may be required for operation or security reasons, such as transfer depots, sports fields, airports and the like.



Figure 115: Example of lighting columns set at heights and positions to provide light to both pedestrian areas and the carriageway. It is recommended that LED lighting is used due to higher energy efficiency and power cost savings.

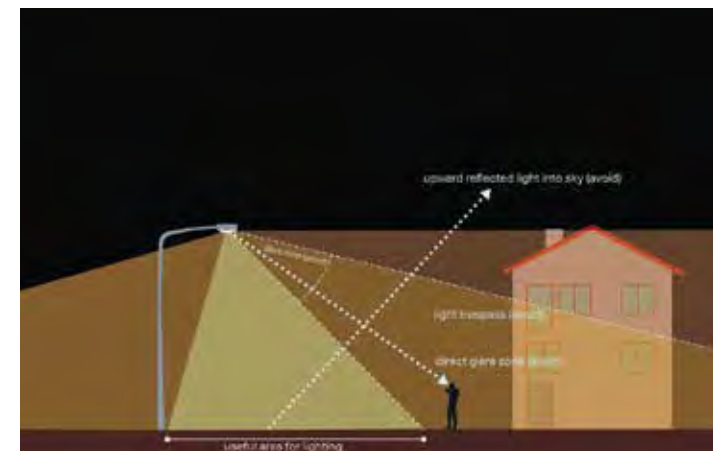


Figure 116: Lighting considerations diagram.

Wildlife friendly environment

- New developments and building extensions should aim to strengthen biodiversity and the natural environment;
- Existing habitats and biodiversity corridors should be protected and enhanced;
- New development proposals should aim for the creation of new habitats and wildlife corridors; e.g. by aligning back and front gardens;
- Gardens and boundary treatments should be designed to allow the movement of wildlife and provide habitat for local species.



Figure 117: Example of bug and bee house.



Figure 118: Existing habitat and biodiversity in Northaw Great Wood.



Figure 119: Existing habitat and biodiversity in Community Garden.



Figure 120: Example of frog habitat corridor.





A large, leafy tree with dense green foliage is the central focus of the image. The tree's trunk is thick and dark, branching out into a wide canopy. In the background, a brick house with a white door and a dark metal gate is visible. The garden is well-maintained with a green lawn and various shrubs, including a pink-flowered bush. The overall scene is a peaceful residential setting.

General Questions

04

4. General Questions

4.1. General questions to ask and issues to consider when presented with a development proposal

Because the design code in this section cannot cover all design eventualities, this section provides a number of questions based on established good practice against which the design proposal should be evaluated. The aim is to assess all proposals by objectively answering the questions below. Not all the questions will apply to every development. It is up to the Village Councils to decide the ones that are relevant to each specific case.

As a first step there are a number of ideas or principles that should be present in the proposals. The proposals or design should:

1. Integrate with existing paths, streets, circulation networks and patterns of activity;
2. Reinforce or enhance the established village character of streets, greens, and other spaces;
3. Respect the rural character of views and gaps;
4. Harmonise and enhance existing settlement in terms of physical form, architecture and land use;
5. Relate well to local topography and landscape features, including prominent ridge lines and long distance views;
6. Reflect, respect, and reinforce local architecture and historic distinctiveness;
7. Retain and incorporate important existing features into the development;

8. Respect surrounding buildings in terms of scale, height, form and massing;
9. Adopt contextually appropriate materials and details;
10. Provide adequate open space for the development in terms of both quantity and quality;
11. Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
12. Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
13. Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the Street scene, the local landscape or the amenities of neighbours; and
14. Positively integrate energy efficient technologies.

Following these ideas and principles, there are number of questions related to the design code outlined below.

Street Grid and Layout

- Does it favour accessibility and connectivity over cul-de-sac models? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists, and those with disabilities?
- What are the essential characteristics of the existing street pattern? Are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

Local Green Spaces, Views and Character

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?

- Has the proposal been considered in its widest context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal affect trees on or adjacent to the site?
- How does the proposal affect the character of a rural location?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity spaces be created? If so, how will this be used by the new owners and how will it be managed?

Gateway and Access Features

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between villages?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

Buildings Layout and Grouping

- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the villagescape?
- What effect would the proposal have on the Streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? How is this mitigated?

Building Line and Boundary Treatment

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Have the appropriateness of the boundary treatments been considered in the context of the site?

Building Heights and Roofline

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing, and scale?
- If a higher than average building is proposed, what would be the reason for making the development higher?

Household Extensions

- Does the proposed design respect the character of the area and the immediate neighbourhood, or does it have an adverse impact on neighbouring properties in relation to privacy, overbearing, or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extension, does it retain important gaps within the Street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?

Building Materials and Surface Treatment

- What is the distinctive material in the area, if any?
- Does the proposed material harmonise with the local material?
- Does the proposal use high quality materials?
- Have the details of the windows, doors, eaves, and roof been addressed in the context of the overall design?
- Do the new proposed materials respect or enhance the existing area or adversely change its character?

Car Parking Solutions

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?

Architectural Details and Contemporary Design

- If the proposal is within a conservation area, how are the characteristics reflected in the design?
- Does the proposal harmonise with the adjacent properties? This means that it follows the height, massing, and general proportions of adjacent buildings and how it takes cues from materials and other physical characteristics.
- Does the proposal maintain or enhance the existing landscape features?
- Has the local architectural character and precedent been demonstrated in the proposals?
- If the proposal is a contemporary design, are the details and materials of a sufficiently high enough quality and does it relate specifically to the architectural characteristics and scale of the site?







Delivery

05

5. Delivery

The design code will be a valuable tool in securing context-driven, high quality developments on the sites in question. They will be used in different ways by different actors in the planning and development process, as summarised in the table below.

The table summarises how different actors will use the design code presented in this report in the development process.

Actors	How They Will Use the Design Code
Applicants, developers, and landowners	As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the guideline as planning consent is sought.
Local Planning Authority	As a reference point, embedded in policy, against which to assess planning applications. The Design Code should be discussed with applicants during any pre-application discussions.
Parish Council	As a guide when commenting on planning applications, ensuring that the Design Code are complied with.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.



About AECOM

AECOM is built to deliver a better world. We design, build, finance and operate infrastructure assets for governments, businesses and organizations in more than 150 countries. As a fully integrated firm, we connect knowledge and experience across our global network of experts to help clients solve their most complex challenges. From high-performance buildings and infrastructure, to resilient communities and environments, to stable and secure nations, our work is transformative, differentiated and vital. A Fortune 500 firm, AECOM had revenue of approximately \$17.4 billion during fiscal year 2016. See how we deliver what others can only imagine at aecom.com and [@AECOM](https://twitter.com/AECOM).

Contact

Mark Hughes

Technical Director

T +44 (0) 20 77985987

M +44(0)78 25122759

E mark,hughes@aecom.com

Appendix B Saved Strategic Policies Welwyn Hatfield District Plan (2005)

B.1 List of Saved Policies

Strategic Policies of most relevance to the Neighbourhood Plan shown in bold.⁷

SD1 Sustainable Development

GBSP1 Definition of the Green Belt

GBSP2 Towns and Specified settlements

GBSP3 Area of Special Restraint and Structural Landscape Area

R1 Maximising the use of previously developed land

R2 Contaminated Land

R3 Energy Efficiency

R4 Renewable Energy Sources

R5 Waste management

R6 River Corridors

R7 Protection of Ground and Surface Water

R9 Water Supply and Disposal

R10 Water Conservation Measures

R11 Biodiversity and Development

R13 Site of Special Scientific Interest

R14 Local Nature Reserves

R15 Wildlife Sites

R17 Trees, Woodland and Hedgerows

R18 Air Quality

R19 Noise and Vibration Pollution

R20 Light Pollution

R21 Telecommunications Development

R24 Character Appraisals and Enhancements

R27 Demolition of Listed Buildings

R28 Historic Parks and Gardens

R29 Archaeology

M1 Integrating Transport and Land Use

M2 Transport Assessments

M3 Green Travel Plans

M4 Developer Contributions

M5 Pedestrian Facilities

M6 Cycle Routes and Facilities

M7 Equestrian Facilities

M8 Powered Two-Wheelers

M9 Bus and Taxi Facilities

M11 Rail Freight Depots

M12 Operational Transport Land

M14 Parking Standards for New Development

M15 Panshanger Airfield

⁷ Accessed at: https://archive.welhat.gov.uk/media/701/District-Plan-Saved-Policies/pdf/WelwynHatfield_List_of_Saved_Policies.pdf?m=63392515735000000

D1 Quality of Design

D2 Character and Context

D3 Continuity and Enclosure

D4 Quality of the Public Realm

D5 Design for Movement

D6 Legibility

D7 Safety by Design

D8 Landscaping

D9 Access and Design for People with Disabilities

D10 Public Art

D11 Design Statements

D12 Development Briefs

IM1 Non-Land Use Strategies

IM2 Planning Obligations

H1 New Housing Development

H2 Location of Windfall Residential Development

H3 Loss of Residential Accommodation

H4 Conversion of Residential Accommodation

H6 Densities

H7 Affordable Housing

H9 Special Needs Housing

H10 Accessible Housing

H12 Travelling Showpeople's Quarters

H13 Gypsy Sites

OS1 Urban Open Land

OS2 Playing Pitch Provision

OS3 Play Space and Open Space Provision in New Residential Development

OS4 Allotments

CLT1 Protection of Existing Leisure Facilities

CLT2 New and Expanded Leisure Facilities

CLT3 Stanborough Park

CLT4 Arts and Cultural Facilities

CLT6 Hotels

CLT7 Community Use of Education Facilities

CLT8 New and Extended Education Facilities

CLT9 Use of Redundant Education Facilities

CLT10 Nurseries and Childcare Facilities

CLT13 Loss of Community Facilities

CLT14 Places of Worship

CLT15 Health Centres and Surgeries

CLT16 Queen Elizabeth II Hospital

CLT17 Care in the Community

EMP1 Employment Areas

EMP2 Acceptable Uses in Employment Areas

EMP3 Mixed Use Development Site at Broadwater Road West

EMP4 Car Sales and Showrooms

EMP5 Mix of Unit Sizes

EMP6 Small Business Units

EMP7 Provision for 'Dirty User' Industries

EMP8 Employment Sites Outside of Employment Areas

EMP9 Training

EMP10 Childcare Facilities
EMP11 Local Recruitment
EMP12 University of Hertfordshire
TCR1 Retail Development in Town Centres and Edge of Town Centre
TCR2 Retail Development in Village and Neighbourhood Centres
TCR3 Out of Centre Retail Development
TCR4 WGC: Town Centre North Development Site
TCR5 WGC: Campus East Development Site
TCR6 WGC: Land at the Southern Side of the Town Centre
TCR7 Retail Frontages in WGC Town Centre
TCR8 Mixed Use Frontages in WGC Town Centre
TCR10 WGC: Acceptable Uses Outside of the Primary Retail Core (The Campus)
TCR11 WGC: Acceptable Uses Outside of the Primary Retail Core (Parkway and Church Road)
TCR13 Environment of WGC Town Centre
TCR14 Hatfield: Redevelopment of Land at Eastern End of Town Centre
TCR16 Retail Frontages in Hatfield Town Centre
TCR17 Mixed Use Frontages in Hatfield Town Centre
TCR19 Hatfield: Acceptable Uses Outside of the Primary Retail Core (Lemsford Road)
TCR20 Hatfield: Acceptable Uses Outside of the Primary Retail Core (The Common)
TCR23 Large Neighbourhood Centres
TCR24 Old Hatfield
TCR25 Small Neighbourhood Centres
TCR26 Large Village Centres
TCR27 Small Village Centres
TCR28 Loss of Individual Local shops
TCR29 Markets
TCR30 Car Boot Sales and Other Temporary Sales
TCR31 Amusement Centres
TCR32 Petrol Filling Stations
HATAER1 Hatfield Aerodrome: Sustainable Development of the Site
HATAER2 Hatfield Aerodrome: Mixed Use
HATAER3 Hatfield Aerodrome: Requirement for a Master Plan
HATAER4 Hatfield Aerodrome: Land Use Proposals
RA2 Development in Settlements in the Green Belt
RA3 Extensions to Dwellings in the Green Belt
RA4 Replacement of Dwellings in the Green Belt
RA5 Major Developed Sites in the Green Belt (Limited Infilling)
RA6 Major Developed Sites in the Green Belt (Redevelopment)
RA7 Royal Veterinary College
RA8 Brookman's Park Transmitting Station
RA9 Cemeteries and Memorial Gardens
RA10 Landscape Regions and Character Areas
RA11 Watling Chase Community Forest
RA12 Protection of Village Facilities
RA13 Mixed Use in Villages
RA14 Rural Exceptions Sites
RA15 Agricultural Land
RA16 Rural Employment and Diversification
RA17 Re-Use of Rural Buildings

- RA18 New Agricultural Buildings
- RA19 Temporary Agricultural Accommodation
- RA20 Permanent Agricultural Dwellings
- RA21 Leisure and Tourism in the Countryside
- RA22 Golf Courses
- RA23 Motor Sports and Other noisy Recreational Activities
- RA24 Riding and Livery Stables
- RA25 Public Rights of Way**
- RA26 Bridleways**
- RA27 Greenways**
- RA28 New Development Using Rural Roads

Appendix C Strategic Environmental Assessment Screening

C.1 Northaw and Cuffley Neighbourhood Plan SEA and HRA screening report

Welwyn and Hatfield Borough Council prepared a 'Northaw and Cuffley Neighbourhood Plan SEA and HRA Initial screening report' in September 2021. This was sent to the Environment Agency, Historic England and Natural England in accordance with the 'screening' assessment and the requirements set out in regulation 9 of the Environmental Assessment of Plans and Programmes Regulations 2004.

Following a 5 week consultation with the above named specific consultees, it was concluded that a Strategic Environmental Assessment was not required. As such an environmental report was not required. The screening report and confirmation from the statutory bodies is included overleaf.

Northaw and Cuffley Neighbourhood Plan

Strategic Environmental Assessment (SEA) and Habitats Regulations Assessment (HRA) Screening report

Statement of Reasons

This statement has been produced to comply with Regulation 15(1) e (ii) of the Neighbourhood Planning (General) (Amendment) Regulations 2015.

A neighbourhood plan is required to meet several basic conditions, one of which being it must not breach and be otherwise compatible with EU and Human Rights obligations. This requires neighbourhood plans to fully consider the requirements of the Strategic Environmental Assessment (SEA) Regulations which transpose the EU's SEA Directive into law and which requires those making plans that could impact on the environment to consider whether they are likely to have a significant effect or not.

Following a request from Northaw and Cuffley Parish Council, Welwyn Hatfield Borough Council produced a Strategic Environmental Assessment (SEA) and Habitats Regulation Assessment (HRA) Screening report for the Northaw and Cuffley Neighbourhood Plan.

The Screening opinion concluded that the Neighbourhood Plan does not require a SEA or a HRA.

The reasons for this are:

- The two sites allocated of housing development have already been through the site selection process, including a sustainability appraisal and a Habitats Regulation Assessment and found to be suitable, as part of the draft Welwyn Hatfield Local Plan housing site allocations process.
- The Neighbourhood Plan does not propose to allocate any great quantum of development than that already included in the draft Welwyn Hatfield Local Plan, so will have no greater environmental effect than that already assessed and found to be acceptable.
- The policies contained in the Neighbourhood Plan are intended to protect and enhance the natural environment and will not result in any significant environmental effects.
- The two sites proposed for housing development are included in the draft Welwyn Hatfield Local Plan, and therefore have already been assessed against the four international designated European sites and found not to have significant environmental effects on these sites.

The response received from the three statutory consultees, Historic England, Natural England and the Environment Agency did not raise any matters or issues that changed the Council's conclusion that SEA/HRA would not be required for the Northaw and Cuffley Neighbourhood Plan.

The consultation responses are included as Appendices to the initial screening assessment report.

Northaw and Cuffley Neighbourhood Plan
Strategic Environmental Assessment (SEA) &
Habitat Regulations Assessment (HRA)

Initial screening report

October 2021



Contents

1) Introduction	3
2) Background	3
Introduction to Strategic Environmental Assessment (SEA)	3
3) The Northaw and Cuffley Neighbourhood Plan Draft 2021	4
The Neighbourhood Plan’s Vision	4
The objectives of the Neighbourhood Plan are set out under topic headings:	5
List of Planning Policies in the Northaw and Cuffley Neighbourhood Plan:	6
The Northaw and Cuffley Neighbourhood Plan Key diagram.....	8
4) The Screening process	9
5) Initial Screening of the Northaw and Cuffley Neighbourhood Plan Policies	10
SEA Screening Stage 1 – Application of the SEA Directive to the Neighbourhood Plan	10
SEA Screening Stage 1 - Conclusions	12
SEA Screening Stage 2 – Assessment of likelihood of significant effects on the environment.	13
SEA Screening Stage 2 – Conclusions	15
6) Habitat Regulation Assessment (HRA) Screening	17
HRA screening of the Northaw and Cuffley Neighbourhood Plan conclusion	19
7) Next stage of the SEA/HRA determination	19
 Appendix A Extracts from the Habitats Regulation Assessment and Sustainability Appraisal of the Welwyn Hatfield Draft Local Plan Proposed Submission 2016	20
Appendix B SEA & HRA Screening Opinion and Statutory Consultee Responses.....	29

1) Introduction

- 1.1. This report sets out the screening assessment for the Northaw and Cuffley Neighbourhood Plan and has been prepared by Welwyn Hatfield Borough Council. The purpose of the screening is to assess if the Neighbourhood Plan will require a Strategic Environmental Assessment (SEA) and /or a Habitat Regulation Assessment (HRA). Section 4.5 shows the report conclusions for the screening assessment
- 1.2. This report will be sent to the statutory consultation bodies, as set out in Regulation 4 of the Environmental Assessment of Plans and Programmes Regulations 2004, for a six week consultation period and their responses will form part of the screening determination report.

2) Background

Introduction to Strategic Environmental Assessment (SEA)

- 2.1. A Strategic Environmental Assessment (SEA) is required under European legislation for all plans which may have a significant effect on the environment. This particularly relates to plans that designate sites for development. When a neighbourhood plan becomes “made” (adopted) it will have legal status as a statutory development plan document. As the Neighbourhood Plan will become a statutory development plan document, there is a legal requirement to assess the policies and proposals in the Neighbourhood Plan against the requirements of European Union Directive 2001/42/EC; also known as the “Strategic Environmental Assessment (SEA) Directive”. The objective for SEA is: “to provide for a high level of protection of the environment and to contribute to the integration of environmental considerations into the preparation and adoption of plans and programmes with a view to promoting sustainable development, by ensuring that, in accordance with this Directive, and environmental assessment is carried out of certain plans and programmes which are likely to have significant effects on the environment.” (SEA Directive, Article 1).
- 2.2. The SEA Directive was incorporated into national law through The Environmental Assessment of Plans and Programmes Regulations 2004 (SI 2004 No 1633) (the SEA Regulations). Detailed guidance on these regulations can be found in the [Government's Planning Practice Guidance](#).
- 2.3. The UK left the EU on 31st January 2020. Under the UK-EU withdrawal agreement, a transition period ended on 31st December 2020, during which time all EU law continued to apply to the UK. During the transition period the UK needed to continue following domestic law that implements EU law, or directly applicable EU law that is given effect through the EUWA 2018. Beyond the transition period, the SEA Regulations, which previously implemented the requirements of the SEA Directive in England, will continue to apply as before unless and until new legislation is introduced. Similarly, the HRA regulations also remain extant.

3) The Northaw and Cuffley Neighbourhood Plan Draft 2021

3.1. Northaw and Cuffley Parish Council (NCPC) was granted approval in principle for the physical boundary of the Neighbourhood Development Plan (NDP) by Welwyn Hatfield Borough Council in autumn 2014. The illustration below shows the extent of the designated Neighbourhood Plan Area.

Figure 1.0



The Neighbourhood Plan's Vision

“The special character of Northaw and Cuffley, as rural villages surrounded by open countryside and Green Belt, will be maintained and enhanced; while delivering the housing and associated infrastructure, facilities and services required in order to meet the current and future local needs of the community. The villages offer a wide variety of beautiful green spaces and access to nature through excellent walking routes and a variety of cycling routes. The Parish benefits from good connections to London and beyond. Local shops, services and community facilities are within walking distance for most residents and contribute to the strong sense of community.”

The objectives of the Neighbourhood Plan are set out under topic headings:

3.2. Housing

- Over the next twenty years the greenbelt is maintained as open land free from development;
- New estate housing style developments are to be resisted in favour of developments that accord with the Neighbourhood Plan and accompanying Design Code;
- Developments offer a range of property types, sizes and price points. Providing a real choice for Northaw and Cuffley residents who wish to remain in their local community and current/future residents who wish to move to more suitable accommodation;
- All new developments, including infill, are developed sympathetically and in line with the existing character of the area and so overdevelopment of sites is avoided;
- Densities should be in keeping with the local character of Northaw and Cuffley and be sensitive to the local landscape/built environment, reflecting the typical densities found in proximity to the site;
- To ensure that all new development respects the character of its surroundings and the amenity of neighbours and future occupiers the volume, density, layout of new development must be sympathetic to adjoining homes;
- To ensure that proposals for extensions to houses, sub-division of plots, infill and back land development are sympathetic to the character of Northaw and Cuffley; and
- To enhance key local characteristics including green verges and tree planting.

3.3. Cuffley Village Centre

- Station Road continues to operate as a high street and is not oversupplied with food outlets, offering a mix of commercial uses (with a vibrant mix of both retail and non-retail);
- To promote Cuffley as a local retail centre, maintaining a balance of retail and non-retail uses that serves the local catchment area;
- Cuffley local centre is accessible to all and an attractive and safe local shopping centre; • Improving the street scene and external appearance of the area;
- Maintaining and enhancing the attractiveness of the design of shopfronts community facilities; and
- Managing traffic and parking issues related to businesses and services.

3.4. Employment

- To encourage locally based employment / use of space for grow on / expansion and start-up businesses; and
- To protect the Sopers Road area for employment uses.

3.5. Getting around

- Reduce the impacts of traffic congestion in Cuffley and improve the pedestrian experience along key pedestrian routes. Including improvements to Station Road (from Northaw Road East to Sopers Road) and to mitigate the impact of traffic and provide a better pedestrian experience;

- Work collaboratively with Hertfordshire County Council to improve existing footpaths in the Parish and explore the creation of new footpaths and cycle paths; and
- Investigate improvements to public transport with local bus companies and Network Rail.

3.6. Community well-being

- To improve the health and well-being of residents;
- Ensure public assets such as the halls, green spaces are fit for purpose and match changing trends and community aspirations; and
- To enhance the facilities provided at King George V Playing Fields and seek to improve the leisure offering to allow for year-round opportunities for leisure.

3.7. Natural Environment

- Protect the environment and enhance the green and blue infrastructure network
- Maintain and improve biodiversity and encourage greening of the Parish.
- Protect and increase the quantity and quality of green space and the safe access to it.
- Improve flood resilience and help to mitigate/adapt to climate change impacts.

3.8. The Northaw and Cuffley Neighbourhood Plan Policies

3.9. The planning policies set out in the Neighbourhood Plan seek to support and implement the vision for Northaw and Cuffley. The Neighbourhood Plan identifies that the area faces a number of development challenges and it is the aim of the Neighbourhood Plan to address these by developing locally specific planning policy and defining key projects to improve the area. These locally derived policies and projects will be applied to planning decisions across the neighbourhood plan area.

3.10. It is not the intention of the Plan to duplicate or anticipate what is already said in national policy or Welwyn Hatfield's saved policies or emerging Local Plan. The purpose of this plan is to add value to these existing policies, ensuring any new policy is locally distinctive and specific to Northaw and Cuffley. The Neighbourhood Plan must be read in conjunction with Welwyn Hatfield's emerging Local Plan and is in general conformity Borough-wide strategic policies.

3.11. Northaw and Cuffley Parish Council would also like to bring forward projects that will improve the area and these are set out in Appendix 1 of the Plan. These are not land-use planning policies, rather they are community aspirations and neighbourhood infrastructure, and are included in the plan as a focus for community action and to prioritise capital investments.

List of Planning Policies in the Northaw and Cuffley Neighbourhood Plan:

Sites:

Policy S1: The Meadway

Policy S2: East of Northaw Road East

Environment and Design Policies:

Policy D1: Residential Design and Amenity

Policy D2: Local Character

Policy D3: Green Infrastructure

Policy D4: Local Green Space Designation

Local Employment Policies

Policy E1: Station Road

Policy E2: Sopers Road

Transport and Getting Around Policies

Policy T1 Station Road

Policy T2: Walking and Cycling

Community Wellbeing Policies

Policy W1: Community Facilities and Services

Policy W2: Library and GP building

Policy W3: King George V Playing Fields

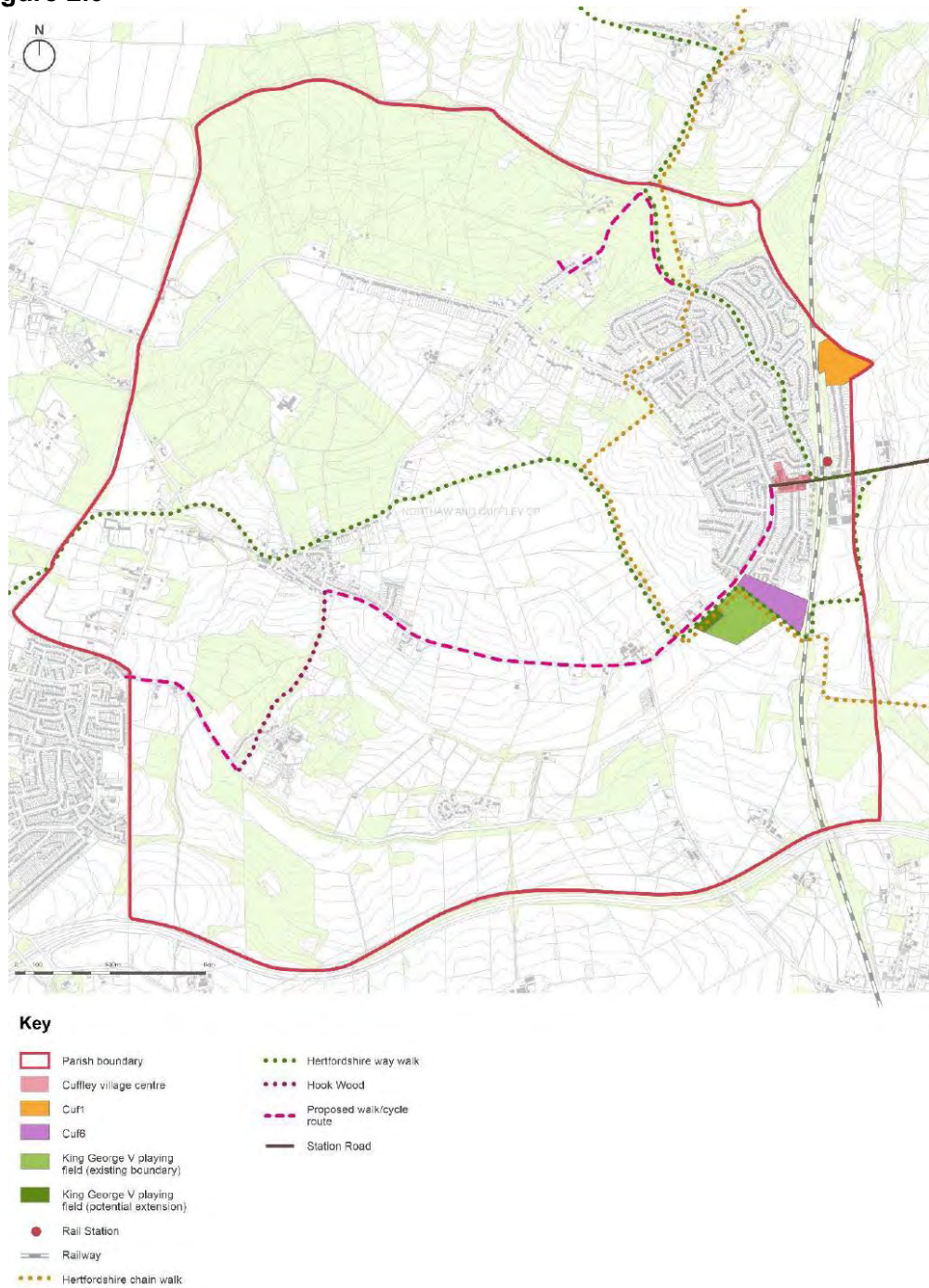
Implementation

Policy I1: Community Projects

The Northaw and Cuffley Neighbourhood Plan Key diagram

3.12. The key diagram illustrates the location of relevant policies contained in the Neighbourhood Plan, including the location of two proposed sites to be allocated for housing development.

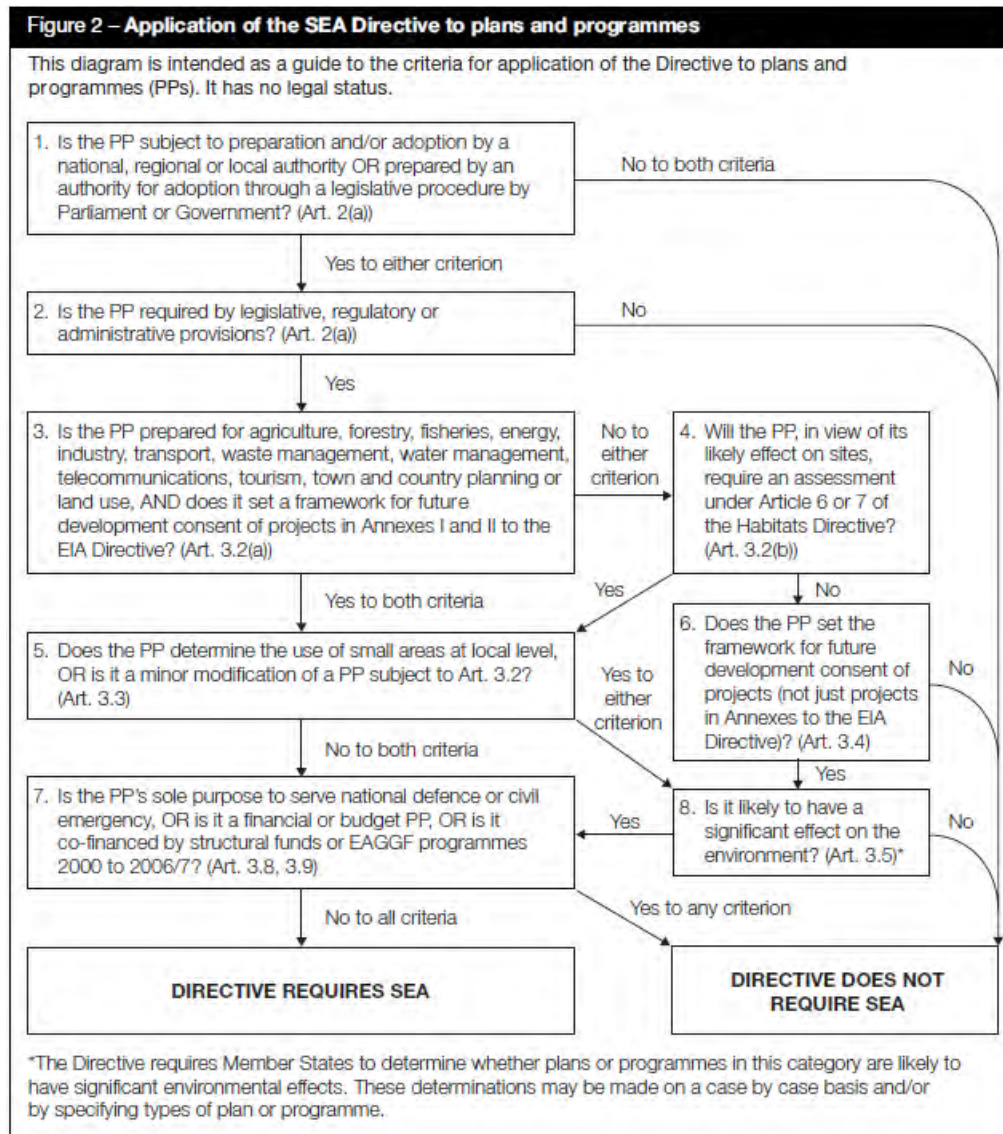
Figure 2.0



4) The Screening process

- 4.1. The process for determining whether or not SEA is required is called ‘screening’. The screening process is based upon consideration of standard criteria to determine whether the plan is likely to have “significant environmental effects”. The Government has produced guidance on the SEA process which is set out in [‘A Practical Guide to the Strategic Environmental Assessment Directive’ \(ODPM 2005\)](#).
- 4.2. The following extract from ‘A Practical Guide to the Strategic Environmental Assessment Directive’ in Appendix 1 provides a flow diagram to demonstrate the SEA screening process the Practical Guide and illustrates the process for screening the Northaw and Cuffley Neighbourhood Plan to ascertain whether SEA is required.

Figure 3.0



5) Initial Screening of the Northaw and Cuffley Neighbourhood Plan Policies

5.1. Stage 1 of the screening assessment is required to assess the plan against a series of criteria set out in the SEA Directive. The assessment criteria below in Table 1.0 are drawn from the diagram above which sets out how the SEA Directive should be applied when considering the environmental impact of a Neighbourhood Plan

SEA Screening Stage 1 – Application of the SEA Directive to the Neighbourhood Plan

Table 1.0

SEA Assessment criteria	Neighbourhood Plan Outcome (Y/N)	Reasoning
1) Is a Neighbourhood Plan subject to preparation and / or adoption by a national, regional or local authority OR prepared by an authority through a legislative procedure by Parliament or Government? (Article 2(a))	Y	The Northaw and Cuffley Neighbourhood Plan is being prepared by a qualifying body (Northaw and Cuffley Parish Council) under the Town and Country Planning Act 1990 (as amended). The Local Planning Authority (Welwyn Hatfield Borough Council) has a statutory obligation to “make” a Neighbourhood Plan once it has successfully gone through the relevant statutory preparation stages, culminating in a local community referendum. At this stage, the Neighbourhood Plan becomes part of the statutory development plan for the local authority area. To this extent, the Neighbourhood Planning process is directed through a legislative procedure which is set out in the Neighbourhood Planning Regulations 2012 (and Amendments 2015) and the Localism Act 2011.
2) Is the Neighbourhood Plan required by legislative, regulatory or administrative provisions? (Article 2(a))	Y	<p>Whilst the Neighbourhood Plan is not a requirement and is optional under the provisions of the Town and Country Planning Act 1990 as amended by the Localism Act 2011, it will, if “made”, form part of the Development Plan for the Borough. It is therefore important that the screening process considers whether it is likely to have significant environmental effects and hence whether SEA is required under the Directive.</p> <p>National Planning Practice Guidance sets out that draft neighbourhood plan proposals should be assessed to determine whether the plan is likely to have significant environmental effects. This assessment should be undertaken in accordance with the requirements set out in</p>

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

		regulation 9 of the Environmental Assessment of Plans and Programmes Regulations 2004.
3) Is the Neighbourhood Plan prepared for agriculture, forestry, fisheries, energy, industry, transport, waste management, water management, telecommunications, tourism, town and country planning or land use, AND does it set a framework for future development consent of projects in Annexes I and II to the EIA Directive? (Article 3.2(a))	Y	A Neighbourhood Plan must relate to town and country, spatial and/or land use planning. Once made, it will form part of the statutory framework (“development plan”) for the determination of planning applications. Neighbourhood Plans therefore set specific frameworks for future development consents.
4) Will the Neighbourhood Plan, in view of its likely effects on sites, require an assessment for future development under Article 6 or 7 of the Habitats Directive? (Article 3.2(b))	Y	A Neighbourhood Plan could potentially have impacts on sites covered by the Habitats Regulations. A Habitat Regulations Assessment screening of Neighbourhood Plans is required to assess if the plan proposals will impact negatively on internationally designated wildlife sites.
5) Does the Neighbourhood Plan determine the use of small areas at local OR is it a minor modification of an existing plan/programme subject to Article 3.2? (Article 3.3)	Y	A Neighbourhood Plan can set out detailed, localised policies to reflect local aspirations, concerns or issues. The Neighbourhood Plan can also determine the use of sites in its neighbourhood plan area by making site specific land use allocations. The Northaw and Cuffley Neighbourhood Plan will be allocating two sites within its local area for housing development, but these are already proposed in the Draft Local Plan Submission and have been subject to SEA and HRA.
6) Is the Neighbourhood Plan likely to have a significant effect on the environment?	N	The Neighbourhood Plan could potentially have an effect on the environment. However, whether this is significant depends on the proposals within the Neighbourhood Plan. This requires individual assessment of the Neighbourhood Plan. The relevant criteria for determining whether Neighbourhood Plans are likely to have a

		<p>significant environmental effect are set out in Article 3(5) Annex II of the SEA Directive.</p> <p>Stage 2 of this screening assessment determines whether or not the Northaw and Cuffley Neighbourhood Plan will lead to any significant effects on the environment and, therefore, whether the Neighbourhood Plan will need to be accompanied by a full SEA.</p>
--	--	---

SEA Screening Stage 1 - Conclusions

- 5.2. The conclusion of the assessment in Table 2 is that depending on the content of the Northaw and Cuffley Neighbourhood Plan, an SEA may be required. For this reason an analysis of the proposed Neighbourhood Plan was required to determine the likely significant effects on the environment. Therefore, it is necessary to complete stage 2 of the SEA screening assessment.

SEA Screening Stage 2 – Assessment of likelihood of significant effects on the environment

5.3. To decide whether the Plan might have significant environmental effects, its potential scope should be assessed against the criteria set out in Schedule 1 of the Environmental Assessment of Plans and Programmes Regulations 2004, which are set out in the table below.

Table 2.0

Criteria for determining the likely significance of effects (Schedule 1 of SEA Regulations)	Is the Northaw and Cuffley Neighbourhood Plan likely to have a significant environmental effect?	Justification for Screening Assessment
1) The characteristics of plans and programmes, having regard, in particular to:		
a) The degree to which the plan or programme sets a framework for projects and other activities, either with regard to the location, nature, size and operating conditions or by allocating resources.	No	The Northaw and Cuffley Neighbourhood Plan will be setting the framework for projects in a local context. There is a statutory requirement for the Neighbourhood Plan's policies to be within the context of strategic policies in the adopted development plan. It therefore cannot provide for development that significantly exceeds, at a strategic level, the intentions of the adopted Local Plan. The proposed neighbourhood plan proposes the allocation of two development sites; these are already identified in the Welwyn Hatfield Local Plan. The Neighbourhood Plan does not propose any greater quantum of development than that proposed in the Welwyn Hatfield Local Plan.
b) The degree to which the plan or programme influences other plans and programmes including those in a hierarchy.	No	The Northaw and Cuffley Neighbourhood Plan will be in conformity with the Development Plan for Welwyn Hatfield. The Neighbourhood Plan will also be in conformity with the National Planning Policy Framework and the planning guidance in the National Planning Policy Guidance. The conformity of the Neighbourhood Plan with other strategic plans and national policies is one of the basic conditions and will be checked at examination stage by an Independent Examiner.

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

c) The relevance of the plan or programme for the integration of environmental considerations in particular with a view to promoting sustainable development.	No	The Neighbourhood Plan will need to be in conformity with the Welwyn Hatfield Local Plan, which advocates sustainable development and has been subject to full SEA and Sustainability Appraisals. It is also one of the Basic Conditions of producing a Neighbourhood Plan that it should contribute to the achievement of sustainable development. (Note: Welwyn Hatfield Local Plan is currently at examination stage).
d) Environmental problems relevant to the plan or programme.	No	It is considered that the Northaw and Cuffley Neighbourhood Plan will not introduce any environmental problems, rather it will seek to encourage sensitive development in relation to the environment, including traffic management and sustainable travel. It includes policies to protect and enhance green infrastructure Policy D3 and Policy D4 seeks to designate areas of Local Green Spaces for protection.
e) The relevance of the plan or programme for the implementation of	No	The Northaw and Cuffley Neighbourhood Plan will not impact on the implementation of European Community legislation on the environment.
European Community legislation on the environment (e.g. plans and programmes linked to waste management or water protection).		Strategies relating to waste disposal or water protection are mostly dealt with by Hertfordshire County Council. Welwyn Hatfield Borough Council has a number of strategies in place, relating to waste management and environmental protection.
2) Characteristics of the effects and of the area likely to be affected, having regard, in particular, to:		
a) The probability, duration, frequency and reversibility of the effects	No	It is considered that the overall impact of the Neighbourhood Plan will be positive by maximising the positive environmental effects of development and minimising or avoiding negative impacts.
b) The cumulative nature of the effects	No	It is considered that the effect of this Neighbourhood Plan will be largely beneficial therefore any cumulative impacts will also be beneficial.
c) The transboundary nature of the effects	No	The effects of the proposals within the Neighbourhood Plan are limited to the area within the Neighbourhood Plan boundary and are unlikely to have a significant impact on neighbouring areas outside of the boundary.
d) The risks to human health or the environment (e.g. due to accidents)	No	No significant risks to human health or the environment are envisaged through the application of this Neighbourhood Plan.

<p>e) The magnitude and spatial extent of the effects (geographical area and size of the population likely to be affected)</p>	<p>No</p>	<p>The Neighbourhood Plan is applicable only to developments within the neighbourhood plan area (Northaw and Cuffley Parish area). Wormley-Hoddesdon Park Woods Special Area of Conservation is in close proximity to the Neighbourhood Plan Area. This SAC is designated under Annex 1 of the Habitats Regulations for its Hornbeam Carpinus betulus and Sessile Oak Quercus petraea woodland, which occurs rarely in lowland Britain. The SAC area covers approximately 336ha and is also a Site of Special Scientific Interest (SSSI) and National Nature Reserve (NNR). In addition, Northaw Great Wood is designated a SSSI and is located within the Neighbourhood Plan Area. Impacts on these designated sites have been assessed as part of the sustainability appraisal of the Welwyn Hatfield Local Plan.</p>
<p>The value and vulnerability of the area likely to be affected due to: Special natural characteristics or cultural heritage; Exceeded environmental quality standards or limit values; or Intensive land-use.</p>	<p>No</p>	<p>The Northaw and Cuffley Neighbourhood Plan is applicable to developments within Northaw and Cuffley Parish, which includes Northaw Conservation Area and listed buildings. Policy impacts on heritage assets have been assessed through the Sustainability Appraisal of the emerging Welwyn Hatfield Local Plan.</p>
<p>g) The effects on areas or landscapes which have a recognised national,</p>	<p>No</p>	<p>The overall impact of the Neighbourhood Plan will be positive by maximising the positive environmental effects of development and</p>
<p>community or international protection status.</p>		<p>minimising or avoiding negative impacts. Welwyn Hatfield has a number of sites of importance for nature conservation but these are protected by separate policies in the emerging Welwyn Hatfield Local Plan.</p> <p>If a Habitat Regulations Assessment (HRA) is deemed necessary then a full SEA would be required. The results of the HRA screening assessment is shown in section 5.1 of this report.</p>

SEA Screening Stage 2 – Conclusions

- 5.4. On the basis of the screening set out in the above tables, it is concluded that the Northaw and Cuffley Neighbourhood Plan will not have will not have significant environmental effects in relation to any of the criteria set out in Schedule 1 of the SEA Regulations, and therefore does not need to be subject to a full SEA. The main reasons for this conclusion are:

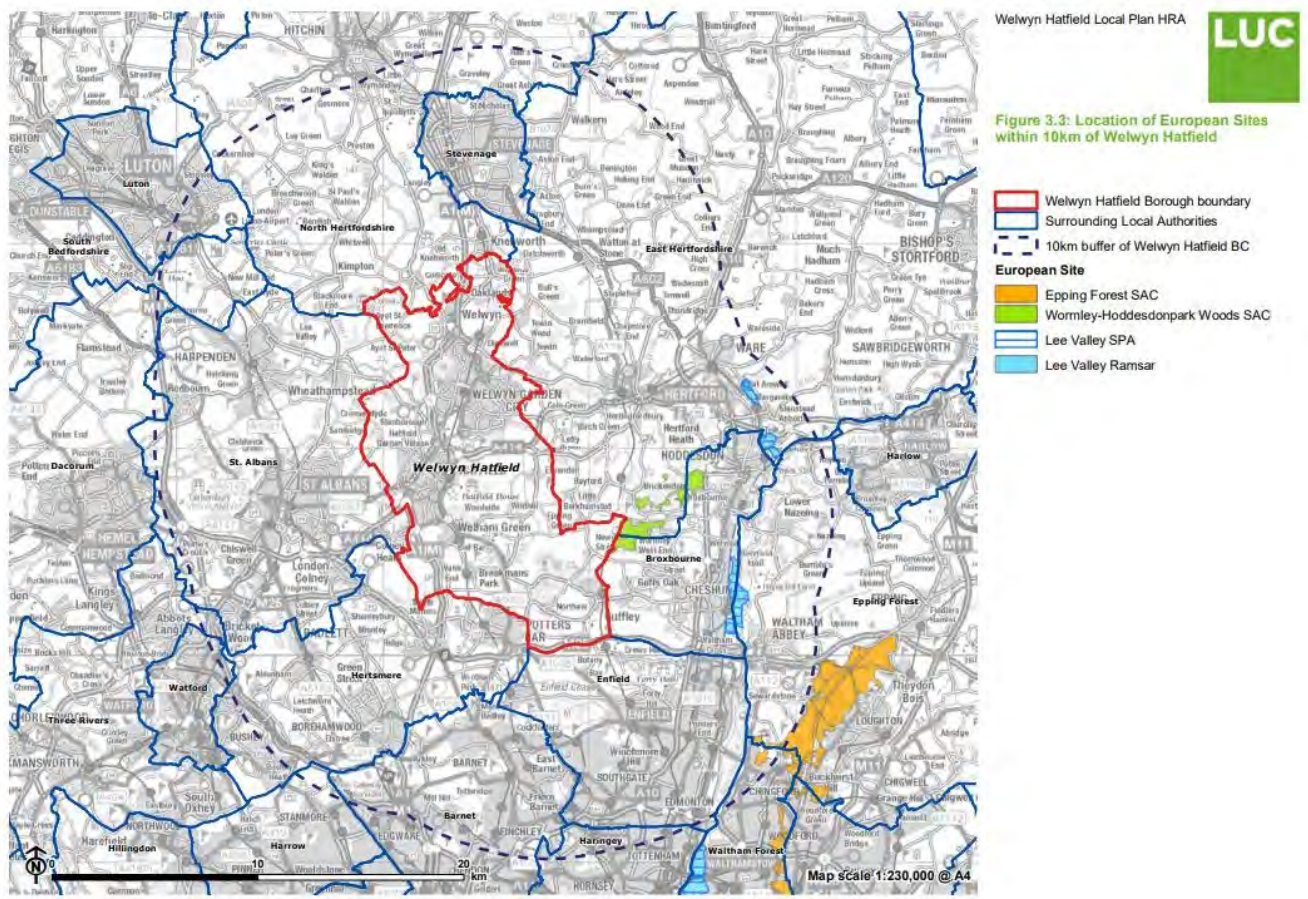
- The Northaw and Cuffley Neighbourhood Plan allocates two sites for housing development, Land east of Northaw Road East (Cuf 6/HS28) and Land at The Meadway, (Cuf1/HS27) . These sites have already been through the site selection process, including a sustainability appraisal and a Habitats Regulation Assessment and found to be suitable, as part of the Welwyn Hatfield Local Plan housing site allocations process.
- The Neighbourhood Plan does not propose to allocate any great quantum of development than that already included in the Welwyn Hatfield Local Plan, so will have no greater environmental effect than that already assessed and found to be acceptable.
- The policies contained in the Neighbourhood Plan are intended to protect and enhance the natural environment and will not result in any significant environmental effects.

5.5. The housing sites identified in the Northaw and Cuffley Neighbourhood Plan are already proposed for allocation in the Welwyn Hatfield Draft Local Plan Proposed Submission 2016 and as such, have gone through full Sustainability Assessment and Habitats Regulation Assessment. The assessments of these sites are attached as Appendix A, together with links to the documents.

6) Habitat Regulation Assessment (HRA) Screening

- 6.1. The requirement to undertake HRA of development plans was confirmed by the amendments to the Habitats Regulations published for England and Wales in 2007; the currently applicable version is the Habitats Regulations 2017 as amended. These updates were consolidated into the Conservation of Habitats and Species Regulations 2017. The assessment process examines the likely significant effects of the different spatial options on the integrity of the European wildlife sites of nature conservation importance within, close to or connected to the plan area. European wildlife sites are areas of international nature conservation importance that are protected for the benefit of the habitats and species they support. This assessment is known as a Habitat Regulation Assessment (HRA).
- 6.2. For the purposes of the HRA, international designated wildlife sites are Special Protection Areas (SPA), Special Areas of Conservation (SAC), and Ramsar wetland sites.
- 6.3. The SEA Directive requires that if an eligible plan or programme requires an appropriate assessment under the Habitats Directive, then that plan or programme will also require an SEA. It is therefore advisable to check whether an assessment under the Habitats Regulations is required by undertaking HRA screening at the same time as screening for SEA.
- 6.4. The Welwyn Hatfield Draft Local Plan Proposed Submission document has been subject to both SEA and HRA. These documents can be found on our website, under [Submission Documents](#). Both the [Sustainability Appraisal](#) and the [Habitats Regulation Assessment](#) were updated in 2020, following the promotion of additional sites for housing. The following conclusions were reached regarding the environmental effects of the policies contained in the Welwyn Hatfield Local Plan, namely Policy SADM 33 Cuffley, in relation to internationally designated wildlife sites.
- 6.5. There are four international designated wildlife sites within 10km of the boundary of Welwyn Hatfield Borough:
- 6.6. The following four European sites were identified within 10km of Welwyn Hatfield Borough. Their location is shown in Figure 4.0.
 - Epping Forest SAC
 - The Lee Valley SPA
 - The Lee Valley Ramsar
 - Wormley Hoddesdonpark Woods SAC

Figure 4.0



- 6.7. Wormley Hoddesdonpark Woods SAC is situated approximately 1.2km away from the nearest development allocation in Northaw and Cuffley Neighbourhood Plan, at the closest point (Cuf1/HS27 The Meadway, Cuffley). The remaining proposed development in Cuffley is within 3km of the SAC, which is therefore likely to be subject to increased levels of recreation from Welwyn Hatfield Borough.
- 6.8. Natural England's Site Improvement Plan notes that the SAC is actively managed in areas with access to the public. This has included sensitive management of access points and routes, which has already proven to have successfully mitigated for the adverse effects of recreational pressure. Given the distance of most of the proposed development and mitigation provided through green infrastructure, in combination with management of the SAC, no adverse effect on the integrity of Wormley Hoddesdonpark Woods SAC is predicted as a result of recreational pressures when considering the plan on its own.
- 6.9. The HRA concluded that the Welwyn Hatfield Proposed Submission Local Plan would not have adverse effects on the integrity of Wormley Hoddesdonpark Woods SAC in relation to increased recreational pressure, either alone or in combination with other plans; this also applies to the proposed housing site allocations in the Northaw and

Cuffley Neighbourhood Plan, which is the same sites as proposed in the Welwyn Hatfield Local Plan.

- 6.10. Epping Forest SAC and Lee Valley SPA and Ramsar site lie 8.5km and 5.5km away from the Borough. Due to distance, the HRA found that these European sites will not be affected by non-physical disturbance. Whilst Wormley Hoddesdonpark Woods does lie within the Borough, it is designated for a habitat, oak-hornbeam forests, and will therefore not be affected by noise, vibration and light. Whilst some species living within the site may be sensitive to non-physical disturbance, the qualifying features and ecosystem as a whole is unlikely to be affected by noise, vibration and light pollution.
- 6.11. The HRA concluded that all European sites can be scoped out in relation to onsite impacts. Offsite impacts were scoped out in relation to Epping Forest SAC, due to its distance from Welwyn Hatfield Borough and given the nature of the qualifying species. Similarly, non-physical disturbance can be scoped out for Wormley Hoddesdonpark Woods SAC, due to the nature of the qualifying species.

HRA screening of the Northaw and Cuffley Neighbourhood Plan conclusion

- 6.12. The only policies that give rise to in relation to HRA are the proposed allocation of two sites for housing development, Cuf1/HS27 The Meadway and Cuf6/HS28 Land at Northaw Road East. The HRA of the Welwyn Hatfield Local Plan assessed the impact of development in Welwyn Hatfield on the four international designated European sites, and concluded that the Welwyn Hatfield Local Plan would not have any significant environmental effects on these sites. As the Northaw and Cuffley Neighbourhood Plan proposes to allocate two sites that have already been assessed in the HRA accompanying the Welwyn Hatfield Local Plan submission document, then clearly, a HRA of the Northaw and Cuffley Neighbourhood Plan is not required.

7) Next stage of the SEA/HRA determination

- 7.1. This initial screening report will be sent to the consultation bodies, as set out in Regulation 4 of the Environmental Assessment of Plans and Programmes Regulations 2004; these are Historic England, Natural England and the Environment Agency for a six week consultation period. A final determination report will then be produced, incorporating the responses received from the consultees and this will then form the formal determination as to whether the Northaw and Cuffley Neighbourhood Plan requires SEA/HRA.

Appendix A Extracts from the Habitats Regulation Assessment and Sustainability Appraisal of the Welwyn Hatfield Draft Local Plan Proposed Submission 2016

Draft Local Plan Proposed Submission Sustainability Appraisal

The Meadway HS27 / Cuf1

Site - Land at The Meadway	HS27 / Cuf1	Potential Capacity	30 dwellings	Policy	SADM 33: Housing allocations in Cuffley General Development management policies
----------------------------	-------------	--------------------	--------------	--------	---

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
Long-term Objective 1: Health Improvement			
1.1 ...lead to reduced health inequalities, and in particular improve the health of those living in communities characterised by relatively poor health? 1.2 ...lead to improved health for all?	+	The site is within straight line walking distance of several types of community facility including: - Within 720m: Cuffley Village Surgery, Salepick Ltd Pharmacy, Tesco, Co-op, Station Road Post Office - Within 1400m: Brookside Crescent, Brookside Crescent/Homewood Avenue and The Driveway/Hill Rise AGS, Cuffley Four Corners Pre-School, Cuffley JMI School, Cuffley Pre-School Playgroup and Sopers Road Employment Area. It should be noted that most of these community facilities are located to the west of the trainline, but are accessible to future residents via Station Road. The site is not within an area classified as being within 20% of the most deprived areas nationally. Overall, this results in a minor positive effect as new residents would have access to a range of existing services.	Not required, but SP 1: Sustainable Development - promotes the increased supply of housing and contributes to the reduction of social and health inequalities. SADM 33- a noise survey would be required and a scheme would need to demonstrate that appropriate mitigation measures can deliver a satisfactory residential environment.
Long-term Objective 2: Safer Communities			
2.2 Ensure there is no increase in flood risk to people or property, taking into account climate change?	0	A small proportion (less than 5%) of the site is within flood zone 3, a small proportion (less than 25%) of the site is within flood zone 2 and the site does not include flood storage areas. Therefore is assumed to have a negligible effect upon this SA objective.	SADM 14: Flood Risk and Surface Water Management Supporting text-some allocations will need to consider fluvial and surface water flood risk, albeit of limited extent.
Long-term objective 4: Improving the environment			
4.2 Significantly reduce greenhouse gas emissions from transport?	++	Proximity to employment and services: This site is within walking distance of an Employment Area which can help to minimise travel distances and car use related greenhouse gases.	Not required
	++	Proximity to transport services: This site is within 1400m of Cuffley Railway Station. This is likely to encourage the use of sustainable transport modes and a significant positive effect is	Not required

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
	++	expected.	
4.3 Avoid and reduce air pollution	++	Proximity to employment and services: This site is within 1400m of an Employment Area and a significant positive effect is expected.	Not required
	++	Proximity to transport services: This site is within 1400m of a railway station and a significant positive effect is expected.	Not required
4.4 Protect and enhance open space and landscape character, retaining local distinctiveness?	0	Open Space: The site is not located within existing open space and therefore for this specific issue, this site is assumed to have a negligible effect.	Not required, but SP 13: Infrastructure Delivery - Developers will be required to contribute to the reasonable costs of providing new green infrastructure, required as a result of their proposals.
	-?	Landscape character: This site was assessed as having medium landscape sensitivity and therefore could have a minor negative effect on landscape character. The Landscape Study also identified the site as having medium capacity to accommodate development.	SP9: Place making and high quality design - Proposals should relate well to their surroundings, local distinctiveness, wider townscape and landscape.
	0	Previously Developed Land: This site was identified as a greenfield site and therefore would have a negligible effect.	Not required, but SADM 33 - recommends a contaminated land survey and report would be required and if necessary, suitable remediation carried out.
	-	Retaining local distinctiveness: The WHBC Green Belt Review scored the site as having a partial effect in relation to maintaining the existing settlement pattern and therefore this site is assumed to have a minor negative effect against this specific issue.	SP9: Place making and high quality design - Proposals should relate well to their surroundings, local distinctiveness, wider townscape and landscape. SADM 16: Ecology and Landscape - Conserve and enhance the borough's natural and historic landscape.
4.5 Conserve and enhance the Borough's character, sense of place and local distinctiveness, historic environment, heritage and cultural assets, and their	0	There are no cultural heritage assets within 1km of this site. Therefore, this site is assumed to have a negligible effect on this objective.	Not required, but SP1: Delivering Sustainable Development - heritage assets should be protected and enhanced.

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
settings?			
4.6 Protect and enhance biodiversity and geodiversity, taking into account the impacts of climate change?	---	The site is within 250m of Cuffley Station Embankment Local Wildlife Site. Therefore a significant negative effect is assumed for this site, however, there is some uncertainty over the effect of this development upon this SA objective.	SADM 33- Nature conservation measures to include a buffer to Cuffley Brook and the ecosite. SP 11: Protection and enhancement of critical environmental assets- Appropriate protection, enhancement and management of ecological assets.
4.8 Avoid water pollution	0	The site is not within an inner or outer impact zone and therefore would have a negligible effect on this SA objective.	Not required, but SP 10: Sustainable design and construction- water sensitive design principles should be integrated into development proposals to sustainably address water supply, consumption and quality.
4.10 Promote conservation and sustainable use of productive agricultural land and maximise the sustainable use of previously developed land	-	This site is located entirely within urban land according to the agricultural land classification. The site is also entirely greenfield land, therefore the effect is assumed to be minor negative.	Policy SP 11: Protection and enhancement of critical environmental assets- protect the best and most versatile agricultural land.
Long-term Objective 5: Decent Housing			
5.1 Provide the right amount, type and tenure of housing to meet identified local needs?	0	Amount of housing: The site provides capacity for 30 homes which is less than 1% of the Borough's housing target and therefore it is assumed to have a negligible effect.	Not required, but SP1: Delivering Sustainable Development requires new development to contribute to the creation of mixed and sustainable communities.
	++	Affordable housing: The site provides the capacity for 30 homes and therefore it is assumed the site would accommodate 35% affordable dwellings.	Not required
	++	Dwellings for older people: The site provides the capacity for 30 homes and therefore it is assumed the site would include 20% of market dwellings meeting Lifetime Homes Standards.	Not required
Long-term objective 6: A thriving economy			

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
6.1 Ensure the supply, location and quality of business and employment sites reflects the needs of local businesses and encourages a mixed and greener economy?	0	This site is not located within an Employment Area and therefore would have a negligible effect on this objective.	Not required
6.3 Enhance the vitality and attraction of Welwyn Garden City and Hatfield town retail centres?	0	This site is not within walking distance (1400m) of Welwyn Garden City or Hatfield Town Centre and therefore is likely to have a negligible effect.	Not required
6.5 Avoid sterilisation of mineral resources	0	According to the Minerals Local Plan 2007 the site is not within a preferred area for mineral extraction.	Not required
6.6 Provide access to training, skills development and lifelong learning to meet identified needs	+++?	The site is within straight line walking distance (1400 m) of several education establishments (Primary school and nurseries/ pre-schools) and therefore a potential significant positive effect may occur because it could be easier and more resource/cost efficient to expand those existing facilities rather than building new schools to serve new residents.	Not required

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

East of Northaw Road East HS28 /Cuf6

Site - East of Northaw Road East	HS28 / Cuf6	Potential Capacity	108 dwellings	Policy	SADM 33: Housing allocations in Cuffley General Development management policies
---	-------------	---------------------------	---------------	--------	---

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
Long-term Objective 1: Health Improvement			
1.1 ...lead to reduced health inequalities, and in particular improve the health of those living in communities characterised by relatively poor health? 1.2 ...lead to improved health for all?	+	<p>The site is within straight line walking distance of several types of community facility including:</p> <ul style="list-style-type: none"> - Within 720m: Cuffley Village Surgery, Salepick Ltd Pharmacy, Tesco, Co-op, Station Road Post Office and Simmons Bakery. - Within 1400m: Brookside Crescent and The Driveway/Hill Rise AGS, King George V Playing Fields, Cuffley Four Corners Pre-School and Cuffley JMI School,. <p>Other community and leisure facilities within 1,400m include Cuffley Service Station, Pre-School Playgroup and Sopers Road Employment Area. These are all located to the east of the train line but will be accessible to future housing occupants via Station Road.</p> <p>The site is not within an area classified as being within 20% of the most deprived areas nationally.</p> <p>Overall this results in a minor positive effect as new residents would have access to a range of existing services.</p>	<p>Not required, but SP 1: Sustainable Development-promotes the increased supply of housing and contributes to the reduction of social and health inequalities.</p> <p>SADM 33- noise survey would be required and a scheme would need to demonstrate that appropriate mitigation measures can deliver a satisfactory residential environment.</p>
Long-term Objective 2: Safer Communities			
2.2 Ensure there is no increase in flood risk to people or property, taking into account climate change?	0	<p>The site is not within flood zones 2 or 3 and does not include a flood storage area and therefore is assumed to have a negligible effect upon this SA objective.</p>	<p>SADM 14: Flood Risk and Surface Water Management Supporting text-some allocations will need to consider fluvial and surface water flood risk, albeit of limited extent.</p> <p>SADM 33- A specific flood risk assessment of the site would be required at planning application stage and SUDs design would need to take specific account of topography to manage overland flows.</p>

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
Long-term objective 4: Improving the environment			
4.2 Significantly reduce greenhouse gas emissions from transport?	+++	Proximity to employment and services: This site is within walking distance of an Employment Area which can help to minimise travel distances and car use related greenhouse gases.	Not required
	++	Proximity to transport services: This site is within 1400m of Cuffley Railway Station and within 400m of four bus stops on Northaw Road East. This is likely to encourage the use of sustainable transport modes and a significant positive effect is expected.	Not required
4.3 Avoid and reduce air pollution	+++	Proximity to employment and services: This site is within 1400m of an Employment Area and a significant positive effect is expected.	Not required
	+++	Proximity to transport services: This site is within 1400m of a railway station and within 400m of bus stops providing a six day a week service and a significant positive effect is expected.	Not required
4.4 Protect and enhance open space and landscape character, retaining local distinctiveness?	0	Open Space: The site is not located within existing open space and therefore for this specific issue, this site is assumed to have a negligible effect.	Not required but SP 13: Infrastructure Delivery - Developers will be required to contribute to the reasonable costs of providing new green infrastructure, required as a result of their proposals.
	-?	Landscape character: This site was assessed as having medium landscape sensitivity and therefore could have a minor negative effect on landscape character. The Landscape Study also identified the site as having medium capacity to accommodate development.	SP9: Place making and high quality design - Proposals should relate well to their surroundings, local distinctiveness, wider townscape and landscape.
	0	Previously Developed Land: This site was identified as a greenfield site and therefore would have a negligible effect.	Not required
	0	Retaining local distinctiveness: The WHBC Green Belt Review scored the site as having limited or no effect in relation to maintaining the existing settlement pattern and therefore this site is assumed to have a negligible effect against this specific issue.	Not required but SP9: Place making and high quality design - Proposals should relate well to their surroundings, local distinctiveness, wider townscape and landscape. SADM 16: Ecology and Landscape - Conserve and enhance the borough's natural and historic landscape.
4.5 Conserve and enhance	0	While there are no cultural heritage assets adjacent to the site, it is between 250m and 1km of	SP1: Delivering Sustainable

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
the Borough's character, sense of place and local distinctiveness, historic environment, heritage and cultural assets, and their settings?		Cattlegate Farmhouse grade II Listed Building. The Listed Building is located almost 1km away, at the far end of sloping fields near the M25, and views of the site will be screened by woodland. Therefore, although there is a potential for an uncertain minor negative effect, it is likely that given the local setting, the effect on the setting of the Listed Building would be negligible.	Development and SADM15: Heritage - heritage assets should be protected and enhanced.
4.6 Protect and enhance biodiversity and geodiversity, taking into account the impacts of climate change?	?	The site is not close to any biodiversity sites. However, the site is entirely greenfield land and an uncertain effect is assumed.	SADM 33- proximity to two SSSIs will need to ensure any impacts are avoided or mitigated. Opportunities to create nature conservation buffer with railway bank and southern woody boundary. Reptile survey may be required at planning application stage. SP 11: Protection and enhancement of critical environmental assets- Appropriate protection, enhancement and management of ecological assets.
4.8 Avoid water pollution	0	The site is not within an inner or outer impact zone and therefore would have a negligible effect on this SA objective.	Not required, SP 10: Sustainable design and construction- water sensitive design principles should be integrated into development proposals to sustainably address water supply, consumption and quality.
4.10 Promote conservation and sustainable use of productive agricultural land and maximise the sustainable use of previously developed land	-	The entire site has been designated as Grade 3 agricultural land according to the agricultural land classification therefore it is assumed to have a minor negative impact on preserving soil quality.	Policy SP 11: Protection and enhancement of critical environmental assets- protect the best and most versatile agricultural land.
Long-term Objective 5: Decent Housing			
5.1 Provide the right amount, type and tenure of housing to meet identified	0	Amount of housing: The site provides capacity for 108 homes which is less than 1% of the Borough's housing target and therefore is assumed to have a negligible effect.	Not required but SP1 Delivering Sustainable Development requires new development to

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

SA Objective	Likely Effects	Commentary	Mitigation recommendations (focussing on significant adverse effects)
local needs?			contribute to the creation of mixed and sustainable communities.
	++	Affordable housing: The site provides the capacity for 108 homes and therefore it is assumed the site would accommodate 35% affordable dwellings.	Not required
	++	Dwellings for older people: The site provides the capacity for 108 homes and therefore it is assumed the site would include 20% of market dwellings meeting Lifetime Homes Standards.	Not required
Long-term objective 6: A thriving economy			
6.1 Ensure the supply, location and quality of business and employment sites reflects the needs of local businesses and encourages a mixed and greener economy?	0	This site is not located within an Employment Area and therefore would have a negligible effect on this objective.	Not required
6.3 Enhance the vitality and attraction of Welwyn Garden City and Hatfield town retail centres?	0	This site is not within walking distance (1400m) of Welwyn Garden City or Hatfield Town Centre and therefore is likely to have a negligible effect.	Not required
6.5 Avoid sterilisation of mineral resources	0	According to the Minerals Local Plan 2007 the site is not within a preferred area for mineral extraction.	Not required
6.6 Provide access to training, skills development and lifelong learning to meet identified needs	++?	The site is within straight line walking distance (1400 m) of several education establishments (primary school and nursery/ pre-school) and therefore a potential significant positive effect may occur because it could be easier and more resource/cost efficient to expand those existing facilities rather than building new schools to serve new residents.	Not required

Habitats Regulation Assessment of the Draft Local Plan Proposed Submission 2016

Local Plan Policy	Likely activities (operations) to result as a consequence of the proposal	Likely effects if proposal implemented	European site(s) potentially affected	Potential mitigation measures – if implemented would avoid likely significant effect	Could the proposal have likely significant effects on European sites (taking mitigation into account)?
				Green Infrastructure. SP 13: Infrastructure Delivery. SADM 17: Urban Open Land. SADM 18: Environmental Pollution.	
SADM33: Cuffley	Development of 299 new homes. Increase in vehicle use. Increase in recreational activities. Increase water demand and treatment.	Increased air pollution. Disturbance from recreation. Increased water pollution and change in water quantity.	Epping Forest SAC could be affected by increased disturbance from recreational pressure. Lee Valley SPA and Ramsar site could be affected by air pollution, recreational disturbance, water pollution and change in water quantity. Wormley Hoddesdonpark Woods SAC could be affected by air pollution from increased vehicle use and damage from increased levels of	SP 1: Delivering Sustainable Development. SADM 3: Sustainable Travel for All. SP 9: Place Making and High Quality Design. SADM 11: Amenity and Layout. SADM 13: Sustainability Requirements. SADM 14: Flood Risk and Surface Water Management. SP 10: Sustainable Design and	Uncertain – The proposed allocations are situated in close proximity to the European site. Although some mitigation will be provided by other policies in the Local Plan, the nature of the development has the potential LSE on water quality and quantity at The Lee Valley SPA and Ramsar, and air pollution and recreational pressure at Wormley Hoddesdonpark Woods SAC. Further assessment is required. There are no LSE from recreational pressure at Epping Forest, or air pollution and recreational pressure at Lee Valley SPA

Local Plan Policy	Likely activities (operations) to result as a consequence of the proposal	Likely effects if proposal implemented	European site(s) potentially affected	Potential mitigation measures – if implemented would avoid likely significant effect	Could the proposal have likely significant effects on European sites (taking mitigation into account)?
			recreational disturbance.	Construction. SP 12: Strategic Green Infrastructure. SP 13: Infrastructure Delivery. SADM 17: Urban Open Land. SADM 18: Environmental Pollution.	and Ramsar site.

Appendix B SEA & HRA Screening Opinion and Statutory Consultee Responses

Matthew Wilson

From: HNL Sustainable Places <HNLsustainablePlaces@environment-agency.gov.uk>
Sent: 01 September 2021 10:55
To: Julie Spicer
Subject: EA response: Northaw and Cuffley Draft Neighbourhood Plan - SEA/HRA screening report
Attachments: HNL NP advice note.pdf
Follow Up Flag: Follow up
Flag Status: Flagged

You don't often get email from hnl sustainableplaces@environment-agency.gov.uk. [Learn why this is important](#)

**** WARNING: This email originated outside the WHBC Network. Please be extra vigilant when opening attachments or clicking links ****

Dear Julie,

Thank you for consulting us on whether the Northaw and Cuffley Neighbourhood Plan requires a Strategic Environmental Assessment/Habitats Regulation Assessment.

We have had to prioritise our limited resource and focus on strategic plans where the environmental risks and opportunities are highest. We attach our advice note which sets out our substantive response to Neighbourhood Plan consultations including Strategic Environmental Assessment screening and scoping.

We recognise that Neighbourhood Plans provide a unique opportunity to deliver enhancements to the natural environment at the local level. This advice note sets out the key environmental issues, within our remit, which should be considered. It also references sources of data you can use to check environmental features.

We hope this is helpful as you prepare evidence and the Neighbourhood Plan itself.

If you have any feedback please let us know.

Kind regards,

George Goodby
Planning Advisor -Hertfordshire and North London Sustainable Places
Environment Agency | Alchemy, Bessemer Road, Welwyn Garden City, Hertfordshire, AL7 1HE
☎ 07879 802840 📧 HNLsustainablePlaces@environment-agency.gov.uk

Pronouns: he/him ([why is this here?](#))



Does Your Proposal Have Environmental Issues or Opportunities? Speak To Us Early!

If you're planning a new development, we want to work with you to make the process as smooth as possible. We offer a bespoke advice service where you will be assigned a project manager who will be a single point of contact for you at the EA, giving you detailed specialist advice. This early engagement can significantly reduce uncertainty and delays to your project. More information can be found on our website [here](#)

From: Julie Spicer [mailto:J.Spicer@welhat.gov.uk]
Sent: 31 August 2021 13:32

Matthew Wilson

From: James, Edward <Edward.James@HistoricEngland.org.uk>
Sent: 08 October 2021 11:48
To: Julie Spicer
Subject: RE: Northaw and Cuffley Draft Neighbourhood Plan - SEA/HRA screening report

You don't often get email from edward.james@historicengland.org.uk. [Learn why this is important](#)

**** WARNING: This email originated outside the WHBC Network. Please be extra vigilant when opening attachments or clicking links ****

Dear Julie,

Thank you for inviting Historic England to comment on this consultation. As the Government's adviser on the historic environment Historic England is keen to ensure that the protection of the historic environment is fully taken into account at all stages and levels of the local planning process. Therefore we welcome this opportunity to review the Screening Report for this plan. For the purposes of this consultation, Historic England will confine its advice to the question, "Is it (the Northaw and Cuffley Neighbourhood Plan) likely to have a significant effect on the historic environment?". Our comments are based on the information supplied with the Screening Opinion.

The Screening Report indicates that the Council considers that the plan will not have any significant effects on the historic environment. We note that the plan proposes to allocate two sites for development. However, these are also allocated in the emerging Local Plan, and therefore subject to Sustainability Appraisal via that process. They are also not in the vicinity of any designated heritage assets.

On the basis of the information supplied, and in the context of the criteria set out in Schedule 1 of the Environmental Assessment Regulations [Annex II of 'SEA' Directive], Historic England concurs with the Council that the preparation of a Strategic Environmental Assessment is not required.

The views of the other two statutory consultation bodies should be taken into account before the overall decision on the need for an SEA is made.

I should be pleased if you can send a copy of the determination as required by REG 11 of the Environmental Assessment of Plans and Programmes Regulations 2004.

We should like to stress that this opinion is based on the information provided by you with your correspondence. To avoid any doubt, this does not reflect our obligation to provide further advice on later stages of the SEA process and, potentially, object to specific proposals which may subsequently arise (either as a result of this consultation or in later versions of the plan) where we consider that, despite the SEA, these would have an adverse effect upon the environment.

Historic England strongly advises that the conservation and archaeological staff of the relevant local authorities are closely involved throughout the preparation of the plan and its assessment. They are best placed to advise on; local historic environment issues and priorities, including access to data held in the Historic Environment Record (HER), how the allocation, policy or proposal can be tailored to minimise potential adverse impacts on the historic environment; the nature and design of any required mitigation measures; and opportunities for securing wider benefits for the future conservation and management of heritage assets.

Please do contact me, either via email or the number below, if you have any queries.

Kind regards,

Edward

Edward James
Historic Places Adviser - East of England
Historic England

Direct Line: 01223 582 746

Mobile: 07833 718 273



Historic England

Brooklands | 24 Brooklands Avenue | Cambridge | CB2 8BU

www.historicengland.org.uk

Twitter: @HE_EoE

Are you an organisation that has used or considered using our Enhanced Advisory Services (EAS)?

Click the following link: [SmartSurvey](#) to take part in a short 10 minute review of our services if you'd like to have your say.

We'd welcome your views.

Date: 13 September 2021
Our ref: 366663
Your ref: North and Cuffley Neighbourhood Plan



Julie Spicer
Welwyn Hatfield Borough Council
J.Spicer@welhat.gov.uk

Hornbeam House
Crewe Business Park
Electra Way
Crewe
Cheshire
CW1 6GJ

BY EMAIL ONLY

T 0300 060 3900

Dear Ms Spicer,

North and Cuffley Neighbourhood Plan SEA and HRA Initial screening report

Thank you for your consultation on the above dated 01 September 2021 which was received by Natural England on the same date.

Natural England is a non-departmental public body. Our statutory purpose is to ensure that the natural environment is conserved, enhanced, and managed for the benefit of present and future generations, thereby contributing to sustainable development.

Screening Request: Strategic Environmental Assessment

It is our advice, on the basis of the material supplied with the consultation, that, in so far as our strategic environmental interests (including but not limited to statutory designated sites, landscapes and protected species, geology and soils) are concerned, that there are unlikely to be significant environmental effects from the proposed plan.

Neighbourhood Plan

Guidance on the assessment of Neighbourhood Plans, in light of the Environmental Assessment of Plans and Programmes Regulations 2004 (as amended), is contained within the [National Planning Practice Guidance](#). The guidance highlights three triggers that may require the production of an SEA, for instance where:

- a neighbourhood plan allocates sites for development
- the neighbourhood area contains sensitive natural or heritage assets that may be affected by the proposals in the plan
- the neighbourhood plan may have significant environmental effects that have not already been considered and dealt with through a sustainability appraisal of the Local Plan.

We have checked our records and based on the information provided, we can confirm that in our view the proposals contained within the plan will not have significant effects on sensitive sites that Natural England has a statutory duty to protect.

We are not aware of significant populations of protected species which are likely to be affected by the policies / proposals within the plan. It remains the case, however, that the responsible authority should provide information supporting this screening decision, sufficient to assess whether protected species are likely to be affected.

Notwithstanding this advice, Natural England does not routinely maintain locally specific data on all potential environmental assets. As a result the responsible authority should raise environmental issues that we have not identified on local or national biodiversity action plan species and/or habitats, local wildlife sites or local landscape character, with its own ecological and/or landscape advisers, local record centre, recording society or wildlife body on the local landscape and biodiversity receptors that may be affected by this plan, before determining whether an SA/SEA is necessary.

Please note that Natural England reserves the right to provide further comments on the environmental assessment of the plan beyond this SEA/SA screening stage, should the responsible authority seek our views on the scoping or environmental report stages. This includes any third party appeal against any screening decision you may make.

For any new consultations, or to provide further information on this consultation please send your correspondences to consultations@naturalengland.org.uk.

Yours sincerely,

Ben Jones
Consultations Team

Hertfordshire and North London Neighbourhood Plan Advice Note

Updated: June 2021

Neighbourhood Plans provide a unique opportunity to deliver enhancements to the natural environment at the local level. This document sets out the key environmental issues, within our remit, which should be considered.

We have had to prioritise our limited resource and focus on strategic plans where the environmental risks and opportunities are highest. This advice note sets out our substantive response to Neighbourhood Plan consultations including Strategic Environmental Assessment screening and scoping.

Together with Natural England, English Heritage and Forestry Commission we have published joint advice on neighbourhood planning which sets out sources of environmental information and ideas on incorporating the environment into plans. This is available at: <https://neighbourhoodplanning.org/toolkits-and-guidance/consider-environment-neighbourhood-plans/>

Drawing up a neighbourhood plan is a fantastic opportunity to build community resilience to climate change and make the local natural environment better. Opportunities include:

- New green spaces and improvements to public space through new development. This could include planting trees, creating rainwater gardens or enhancing local waterways for water quality and biodiversity.
- Recognising the value of certain environmental features within a plan area, e.g. a floodplain, wetland habitat or rivers. Identify these features and outline how you intend to protect them and improve them.
- Helping a community to manage and adapt to the risk of flooding and climate change by incorporating natural features and green space to manage and store water, and supporting the use of sustainable drainage systems (SuDS).
- Promoting energy and water efficiency measures for new builds. These measures will reduce the cost of construction for developers and help to reduce utility bills for future occupiers. This will also help reduce unsustainable water consumption and carbon emissions.

We also recommend your Plan takes account of relevant Local Planning Authority's policies, plans and strategies including Local Planning Authority's Strategic Flood Risk Assessment, flood risk strategies (<https://www.gov.uk/government/collections/flood-risk-management-current-schemes-and-strategies>), and the Thames River Basin Management Plan (https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/289937/geth0910bswa-e-e.pdf) as appropriate.

customer service line
03708 506 506

incident hotline
0800 80 70 60

floodline
03459 88 11 88

The information below explains the key issues we would consider in reviewing your Plan. We aim to reduce flood risk, while protecting and enhancing the water environment.

Infrastructure Delivery

We recommend that environmental infrastructure, including habitat enhancements, water storage areas, and green space, is taken into account if the Plan looks to fund local infrastructure.

Flood risk

Development must be safe and should not increase the risk of flooding.

Neighbourhood Plans should conform to national and local policies on flood risk:

If a Neighbourhood Plan is proposing sites for development please check whether there are any areas of Flood Zones 2 or 3 within the proposed site allocations. You can view a site's flood zone on the Flood Map for Planning on our website: <https://flood-map-for-planning.service.gov.uk/>

If the proposed allocation is located within Flood Zone 2 or 3 you should consult the Flood Risk and Coastal Change pages of the National Planning Policy Guidance (NPPG):

<http://planningguidance.communities.gov.uk/blog/guidance/flood-risk-and-coastal-change/>.

Here you can determine whether the flood risk vulnerability of the proposed development and the flood zone are compatible. In accordance with national planning policy the Sequential Test should be undertaken to ensure development is directed to the areas of lowest flood risk taking into account climate change. This should be informed by the Environment Agency's Flood Map for Planning and the Local Planning Authority's Strategic Flood Risk Assessment (SFRA), if they have one. We recommend you contact the Local Planning Authority to discuss this requirement further.

If the Neighbourhood Plan proposes development in flood risk areas, the Strategic Environmental Assessment should include baseline information about the flood risks, and include it as a key sustainability issue and as an objective.

We would have concerns if development is allocated in this high risk flood zone without the Sequential Test being undertaken. It is important that your Plan also considers whether the flood risk issues associated with these sites can be safely managed to ensure development can come forward.

We can provide any flooding information which we have available – such as predicted flood levels and historical flood data. Please note that there may be a charge for this information. Please contact our Customers and Engagement Team at HNLenquiries@environment-agency.gov.uk for further details. In addition to the above you should also check with the Local Planning Authority's Neighbourhood Planning team with regards to other sources of flooding (such as surface water, groundwater, sewers and historic flooding) as detailed in their Strategic Flood Risk Assessment (SFRA). The Lead Local Flood Authority (LLFA), now has responsibility for local flood risk management and may hold flooding information that is not identified on our Flood Map.

Climate Change Allowances

The Local Authority's Strategic Flood Risk Assessment should indicate the extent of flood zones with likely climate change. On 19 February 2016, we published new guidance for planners and developers on how to use climate change allowances: <https://www.gov.uk/guidance/flood-risk-assessments-climate-change-allowances>

customer service line
03708 506 506

incident hotline
0800 80 70 60

floodline
03459 88 11 88

Flood Defences

Areas of your Neighbourhood Plan area, or proposed sites, may be given protection by a flood defence/alleviation scheme. Where this is the case the Plan should acknowledge this and identify the level of protection provided (including any climate change allowance). It should be noted that flood defences are intended to protect existing properties and are not to facilitate new development in areas that would otherwise be impacted by flooding. Any assessment of development behind flood defences should consider the impacts of a breach or overtopping. Where it is determined that new development should be behind a flood defence financial contributions may be sought to maintain or improve the structure.

Thames Estuary 2100 (Tidal Defences)

In line with requirements set out in the Thames Estuary 2100 (TE2100) plan, developments in this location will need to demonstrate how the flood defence could be raised in the future to meet the demands of climate change.

No activities on site should preclude access to the flood defence from maintenance or prevent the future raising of flood defences. In some cases we hold technical drawings of flood defence structures which may be of use. To request these you should contact our Customers and Engagement Team at hnlquiries@environment-agency.gov.uk.

Ecology and Water Management

Proximity to watercourse/ Ecology

Main rivers can be viewed on the Environment Agency's map:

<https://environment.maps.arcgis.com/apps/webappviewer/index.html?id=17cd53dfc524433980cc333726a56386>

The neighbourhood plan should draw upon evidence of designated or non-designated sites of nature conservation sites of international, national or local importance, and seek to ensure these sites are safeguarded and there is no degradation to these sites. The mitigation hierarchy of avoid mitigate and compensate should be followed to ensure this.

In accordance with national policy, any development proposal should avoid significant harm to biodiversity and seek to protect and enhance it; delivering **biodiversity net gain**. The forthcoming Environment Bill will mandate when enacted the demonstration of a minimum 10% biodiversity net gain using the Defra Biodiversity Metric 2.0 (or subsequent version), even where development proposals do not result in biodiversity loss. The Neighbourhood Plan could identify opportunities to incorporate requirements for achieving biodiversity and wider environmental net gains.

The provision of green infrastructure, particularly along rivers, can bring about benefits for people and wildlife. Creating networks of green space and habitats can also ensure wildlife are able to migrate and move across sites more easily enabling recovery and resilience of different wildlife species. The Neighbourhood Plan could play a role in helping to preserve, safeguard and establish green buffer zones along rivers by including policies or design guidance for their area. Even where buffer zones do not currently exist it is becoming more vital that we create them not just for the benefit of biodiversity but to reduce flood risk and increase our resilience to climate change.

This is a key way in which we can carry out our legal duty to further and promote the ecological and landscape value of rivers and land associated with them. In urban areas, in particular, rivers have often been degraded by past development, and we expect that any new development should go some way to redress the balance.

customer service line
03708 506 506

incident hotline
0800 80 70 60

floodline
03459 88 11 88

Neighbourhood Plans provide an opportunity to promote river restoration and enhancements helping us all to achieve the targets to improve waterbodies as part of the Water Framework Directive (WFD). There should be no deterioration in water quality and development should bring about improvements to the ecological status of any water body. Local WFD catchment data for the rivers in your area can be obtained from: <http://environment.data.gov.uk/catchment-planning/RiverBasinDistrict/>. We have identified WFD action measures for specific locations or whole reaches of watercourse (e.g. river bank restoration, improving fish passage, etc) and can be obtained from hnlenquiries@environment-agency.gov.uk on request.

Objectives to achieve WFD improvements across all sectors are outlined in the Thames River Basin Management Plan (RBMP) (<https://www.gov.uk/search?q=River+Basin+Management+Plans>).

An assessment of the potential impacts of the Neighbourhood Plan on watercourses under WFD should be included within the SEA/SA appraisal, making use of the datasets available above.

Groundwater Quality

Development must not cause pollution to the water environment.

Aquifers and Source Protection Zones

Some of your local area, and specific potential site allocations, may be located upon or within aquifers and Source Protection Zones (link below). SPZ 1 is especially sensitive. You might consider these within your Plan and when allocating sites. The relevance of the designation and the potential implication upon development proposals should be seen with reference to our Groundwater Protection guidance:

<https://www.gov.uk/government/collections/groundwater-protection>

To see if a proposed development is located within a Source Protection Zone, please use our online map:

<https://www.gov.uk/guidance/groundwater-source-protection-zones-spzs>

Land Contamination

You must consider land contamination when preparing your plan. Managing it during development is key to addressing past contamination and preventing further impacts during development.

You can establish if a site may be contaminated in several ways. Your Local Authority may hold a register of sites it knows to be contaminated. A list of potentially contaminated sites can be accessed on the following link:

<https://www.clare.co.uk/useful-government-legislation-and-guidance-by-country/76-key-documents/198-doe-industry-profiles>

We recommend you contact your Local Authority's Environmental Health team who may hold records on known/potential land contamination. Please note our primary concern is with regards to water quality. Your Local Authority's Environmental Health team will advise you on issues related to human health.

Your plan may include areas which are located on aquifers and Source Protection Zones. These areas represent the most sensitive and highest risk in terms of potential pollution to protected groundwater supplies, some of which are used for drinking water. These should be considered within your plan if growth or development is proposed here. Further information can be accessed on the following links:

Guiding principles for the Land Contamination

<https://www.clare.co.uk/useful-government-legislation-and-guidance-by-country/192-guiding-principles-for-land-contamination-gplc>

customer service line
03708 506 506

incident hotline
0800 80 70 60

floodline
03459 88 11 88

Approach to Groundwater Protection:

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/692989/Environment-Agency-approach-to-groundwater-protection.pdf

Water supply and foul drainage

When allocating sites in your Plan, you will need to consider if the water supply and foul drainage infrastructure can accommodate the development. Your local water company can provide further information about water supply and sewerage capacity. Our '[Water Stressed Areas – final classification](#)' 2013 explains that our area is seriously water stressed. This is particularly significant as population numbers rise and there are increased impacts from climate change on water resource availability and reliability. The Neighbourhood Plan should consider what further measures could help the local area achieve water sustainability that are not already in the Local Plan, water efficiency standards and measures including the retrofitting of existing buildings.

Surface water drainage

The inclusion of Sustainable Drainage Systems (SUDS) should always be a consideration within any development to reduce the risk of surface water flooding on and off site. The Lead Local Flood Authority, is the main contact for SUDS issues. However, we have interest in SUDS from a groundwater protection perspective and improving water quality.

The collection and dispersal of clean surface water to ground to recharge aquifer units and prevent localised drainage or surface systems flooding in heavy rainfall is encouraged. However, dispersal into the ground through soakaways or other infiltration systems requires a site-specific investigation and risk assessment. Generally, we would accept roof drainage going to soakaway (or other systems), but other surface drainage may need to go through treatment systems or to foul main, for instance vehicle parking. Infiltrating water has the potential to cause mobilisation of contaminants present in shallow soil/made ground which could ultimately cause pollution of underlying groundwater resources. Where contamination is known or suspected, remedial or other mitigating measures will likely be required so that it can be demonstrated that there is no resultant unacceptable risk to Controlled Waters.

We advise applicants to follow our guidance – Groundwater Protection. This is a report that highlights the importance of groundwater and encourages industry and other organisations to act responsibly and improve their practices. This can be found at: <https://www.gov.uk/government/collections/groundwater-protection>

The design of the drainage systems should be in line with G1, G9, G12 and G13 position statements: <https://www.gov.uk/government/publications/groundwater-protection-position-statements>

Please note

This document is a response to a Neighbourhood Plan consultation and does not represent our final view in relation to any future planning application made in relation to any site. You should seek your own expert advice in relation to technical matters relevant to your neighbourhood plan before submission.

If you have any questions please contact the Hertfordshire and North London Sustainable Places team: HNL SustainablePlaces@environment-agency.gov.uk

customer service line
03708 506 506

incident hotline
0800 80 70 60

floodline
03459 88 11 88

Appendix D Local Green Spaces Assessment

D.1 Local Green Spaces Assessment Summary

Local Green Spaces may be designated where those spaces are demonstrably special to the local community, whether in a village or in a neighbourhood in a town or city. The National Planning Policy Framework (NPPF) encourages Qualifying Bodies to utilise the local green space designation (where appropriate):

101. The designation of land as Local Green Space through local and neighbourhood plans allows communities to identify and protect green areas of particular importance to them. Designating land as Local Green Space should be consistent with the local planning of sustainable development and complement investment in sufficient homes, jobs and other essential services. Local Green Spaces should only be designated when a plan is prepared or updated, and be capable of enduring beyond the end of the plan period.

102. The Local Green Space designation should only be used where the green space is:

a) in reasonably close proximity to the community it serves;

b) demonstrably special to a local community and holds a particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquillity or richness of its wildlife; and

c) local in character and is not an extensive tract of land.

103. Policies for managing development within a Local Green Space should be consistent with those for Green Belts.

The Planning Practice Guidance (PPG) includes a number of key considerations when deciding whether or not to designate land as a Local Green Space:

The green area will need to meet the criteria set out in paragraph 100 of the National Planning Policy Framework. Whether to designate land is a matter for local discretion. For example, green areas could include land where sports pavilions, boating lakes or structures such as war memorials are located, allotments, or urban spaces that provide a tranquil oasis. [Paragraph: 013 Reference ID: 37-013-20140306. Revision date: 06 03 2014]

The proximity of a Local Green Space to the community it serves will depend on local circumstances, including why the green area is seen as special, but it must be reasonably close. For example, if public access is a key factor, then the site would normally be within easy walking distance of the community served. [Paragraph: 014 Reference ID: 37-014-20140306. Revision date: 06 03 2014]

There are no hard and fast rules about how big a Local Green Space can be because places are different and a degree of judgment will inevitably be

needed. However, paragraph 100 of the National Planning Policy Framework is clear that Local Green Space designation should only be used where the green area concerned is not an extensive tract of land. Consequently blanket designation of open countryside adjacent to settlements will not be appropriate. In particular, designation should not be proposed as a ‘back door’ way to try to achieve what would amount to a new area of Green Belt by another name. [Paragraph: 015 Reference ID: 37-015-20140306. Revision date: 06 03 2014]

Some areas that may be considered for designation as Local Green Space may already have largely unrestricted public access, though even in places like parks there may be some restrictions. However, other land could be considered for designation even if there is no public access (eg green areas which are valued because of their wildlife, historic significance and/or beauty).

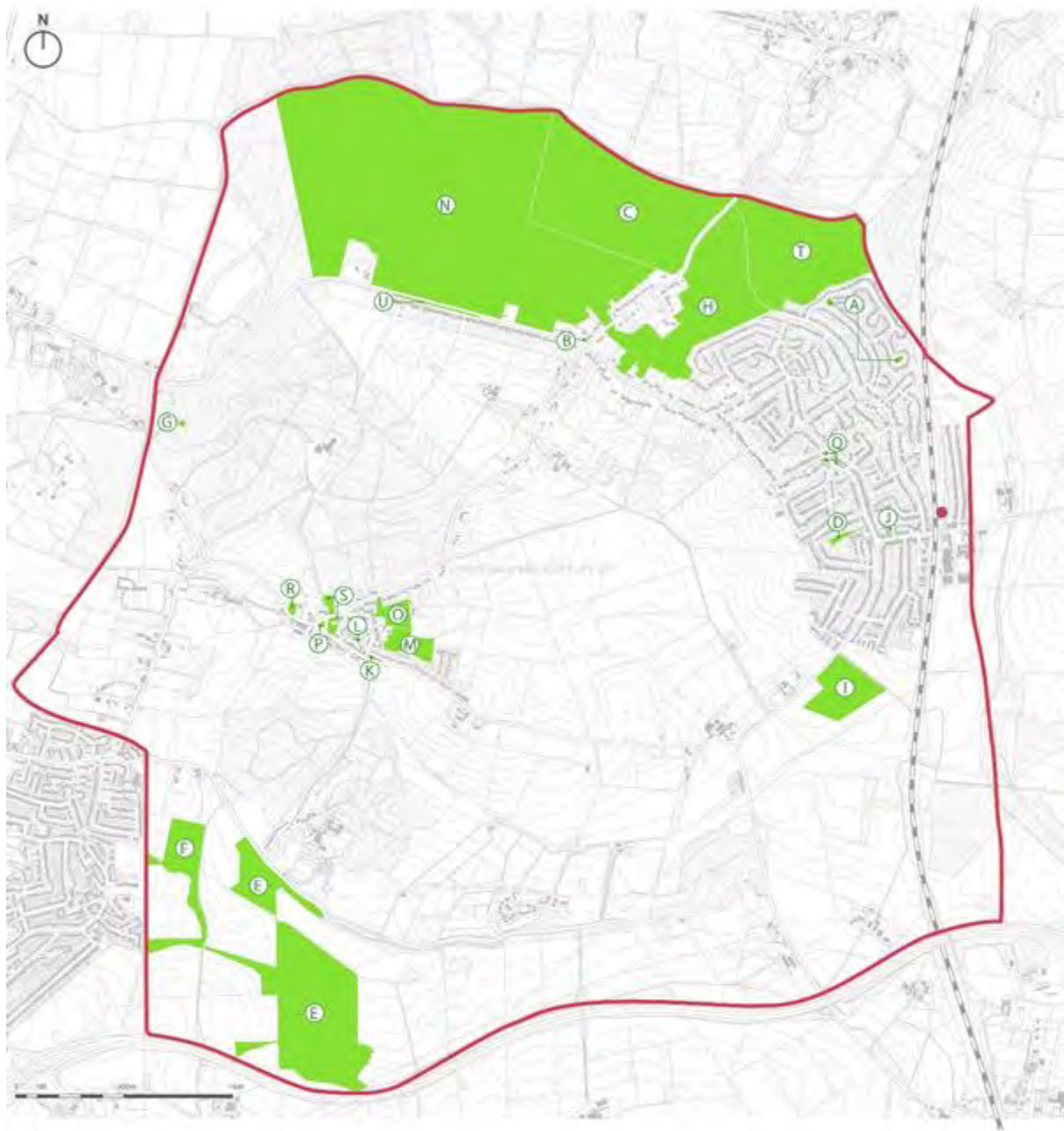
Designation does not in itself confer any rights of public access over what exists at present. Any additional access would be a matter for separate negotiation with land owners, whose legal rights must be respected. [Paragraph: 017 Reference ID: 37-017-20140306. Revision date: 06 03 2014]

Areas that may be considered for designation as Local Green Space may be crossed by public rights of way. There is no need to designate linear corridors as Local Green Space simply to protect rights of way, which are already protected under other legislation. [Paragraph: 018 Reference ID: 37-018-20140306. Revision date: 06 03 2014]

For those green areas designated as Local Green Space there will be no new restrictions or obligations on landowners. Management of land designated as Local Green Space will remain the responsibility of its owner. If the features that make a green area special and locally significant are to be conserved, how it will be managed in the future is an important consideration. Therefore the Parish Council will continue to work in partnership with landowners, Welwyn Hatfield Borough Council and Hertfordshire County Council to manage the Parish’s valued green infrastructure network.

This appendix sets out the reasoning and evidence for the proposed designations contained within the Neighbourhood Plan (see Figure 8.1 overleaf and Policy D4: Local Green Space Designation within the Neighbourhood Plan). The supporting evidence has been prepared in accordance with the Planning Practice Guidance (*Open space, sports and recreation facilities, public rights of way and local green space*) and benefited from surveys undertaken by the Neighbourhood Plan steering group and the technical support of consultancies AECOM (between 2021-2022) and Troy Planning + Design (during 2020).

Figure 8.1 Local Green Space Designations



Key

- | | | |
|---|--|--|
| Parish boundary | Ⓜ Northaw Community Orchards and Scout Hut | Ⓡ Ron North Pond |
| Ⓐ Brookside Crescent | Ⓝ Northaw Great Wood | Ⓢ St Thomas a Becket Church and Cemeteries |
| Ⓑ Carbone Hill | Ⓞ Northaw Playing Fields | Ⓣ Teimers Activity Centre and Peters Wood |
| Ⓒ Cuffley Camp | Ⓟ Northaw Village Green | Ⓤ The Ridgeway |
| Ⓓ Cuffley Scout Group, Church Close Lane | Ⓠ Urban Green Spaces at Plough Hill Junction | |
| Ⓔ Fir and Pond Woods | | |
| Ⓕ Five Acre Wood | | |
| Ⓖ Giffins Hole (Well) | | |
| Ⓗ Home Wood | | |
| Ⓛ King George V Playing Fields | | |
| Ⓜ Millennium Gardens, Maynard Place | | |
| Ⓝ Millennium Gardens, Northaw | | |
| Ⓟ Northaw Community Gardens | | |
| Ⓠ Northaw Community Orchards and Scout Hut | | |
| Ⓡ Northaw Great Wood | | |
| Ⓢ Northaw Playing Fields | | |
| Ⓣ Northaw Village Green | | |
| Ⓤ Urban Green Spaces at Plough Hill Junction | | |

Methodology

Method Stage1: Initial Desktop Review and Site Visits

The first stage of the evaluation involved an initial review of existing green space within the Northaw and Cuffley Neighbourhood Area. This helped to avoid any potential clash with adopted and emerging development plan designations/policies and/or planning permissions.

This stage involved reviewing: the green spaces and their purpose; relevant statutory or policy designations; quality and condition of the green space; and the value and benefit to the community.

In addition to the saved Local Plan policies shown in Appendix B, the potential Local Green Spaces were also considered in terms of their alignment to the following emerging draft Local Plan policies:

- SP 6 - Community Services and Facilities
- SADM 7 - New Community Services and Facilities, and Losses of Community Services and Facilities
- SP 11 - Protection and Enhancement of Critical Environmental Assets
- SADM 15 - Heritage
- SADM 16 - Ecology and Landscape
- SADM 17 - Urban Open Land

This work was conducted in February 2020 and was used to identify a preliminary long list of sites that had potential to be classified under the Local Green Space designation.

A site visit with members of the Neighbourhood Plan steering group was used to gather local knowledge of each site and establish a better understanding of its value to the community, the quality and condition of each site and its spatial context within the Parish.

Method Stage 2: Policy Audit

Once a long list of potential green space sites was identified they were assessed against the NPPF criteria outlined in paragraph 100 and the additional guidance provided in the PPG. The criteria considered was as follows:

- a) The green space is in reasonably close proximity to the community it serves;
- b) The green space is considered demonstrably special to a local community and holds a particular local significance;
- c) The green space is local in character and is not an extensive tract of land; and
- d) The green space does not already have planning permission for development.

There is no clear definition of what is 'an extensive tract of land'. There is also no clear definition of what is 'close proximity to the community'. However, the proposed Local Green Space designations should be a local resource enjoyed by the community and not just vast fields within the countryside detached from the villages

of Northaw and Cuffley. As noted in the PPG, public access can be a key factor and in some circumstances it should be in easy walking distance of the community served.

Once satisfied that the sites met the criteria identified above, the steering group identified a shortlist of sites to go forward to be assessed in greater detail to determine those which should be put forward to consultation.

Method Stage 3: Detailed Analysis

Part (b) of Paragraph 100 of the NPPF (2019) states that the Local Green Space designation should be used where green space is:

“...demonstrably special to a local community and holds a particular local significance, for example, because of its beauty, historic significance, recreational value, tranquillity or richness of its wildlife”.

As such, potential sites should meet at least one of the five criteria:

1. Beauty (for example: local character, landscape).
2. Historic significance (for example: conservation area, high archaeological importance and/or listed buildings);
3. Recreational value (for example: playing fields, facilities for events, seating for pedestrians etc.):
4. Tranquillity (for example: oasis of calm and a spaces for quiet reflection, including rural characteristics, quiet, dark sky designation, water bodies etc.);
5. Richness of its wildlife (is it a SSSI SAC or any evidence of wildlife).

Each site was assessed using the table overleaf, which in turn informed the judgements made by the Neighbourhood Plan steering group to finalise the sites (and their extents) that were put forward in the draft Neighbourhood Plan for consultation. The table overleaf evidences how each proposed Local Green Space aligns with the NPPF policy and PPG guidance.

	Location (OS Grid Coordinates)	Site Area	Relevant Local Plan Designations and emerging policies	Quality and Condition	Planning Permission Status	Proximity to Community	Local Significance	Description
a) Brookside Crescent	Brookside Crescent (TL 30206 03790 and TL 30529 03530)	0.28Ha	Urban Open Land - OS1 Draft Policy SADM 17 - Urban Open Land	Good	✓	✓	✓ Recreational Value	Two large green spaces within this crescent. The largest is on the junction with Homewood Avenue. The smaller second space is to the south east of the crescent opposite house number 28 offering local green spaces and seating for residents.
b) Carbone Hill	Carbone Hill (TL 29082 03613)	0.077Ha	Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 17 - Urban Open Land	Good	✓	✓	✓ Recreational Value, Wildlife	Green space with seating and fruiting trees.
c) Cuffley Camp	Carbone Hill (TL 29269 04256)	36.5Ha	Wildlife Site - R12 Site of Special Scientific Interest - R13 Northaw Great Wood Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 7 - New Community Services and Facilities, and Losses of Community Services and Facilities	Good	✓	✓	✓ Recreational Value, Wildlife	'Camp Wilderness' is run by The Bushcraft Company, who specialise in outdoor education for school children and are a provider of outdoor education within the UK. The Cuffley Camp is woodland camp and activities facility.
d) Cuffley Scout Hut, Church Close Lane	Church Close Lane (TL 30253 02701)	0.23Ha	Draft Policy SADM 7 - New Community Services and Facilities, and Losses of Community Services and Facilities	Good	✓	✓	✓ Recreational Value	1st Cuffley Scout HQ and grounds (owned by the Church).
e) Fir and Pond Woods	Coopers Lane Road (TL 27570 01106 and TL 27842 00698)	29.3Ha	Wildlife Site - R12 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 16 Ecology and Landscape	Good	✓	✓	✓ Recreational Value, Wildlife	A diverse woodland reserve that features a meadow dotted with ancient ant hills and a medieval fish pond. Both woods benefit from wildlife protections. The site is leased to Herts and Middlesex Wildlife Trust who manage it as a nature reserve. This is widely thought to be the best remaining part of the ancient Enfield Chase with diverse woodland, meadow and wetland habitats supporting an abundance of wildlife. The woods are rich in birdlife including woodpeckers, warblers and tits. At the southern end of Pond Wood, there is an ancient meadow with woodland on three sides and Turkey Brook on the fourth.

	Location (OS Grid Coordinates)	Site Area	Relevant Local Plan Designations and emerging policies	Quality and Condition	Planning Permission Status	Proximity to Community	Local Significance	Description
								The meadow is rich in invertebrates, including butterflies, grasshoppers and large numbers of old anthills. The reserve is one of the best places to spot dragonflies and damselflies in the county.
f) Five Acre Wood	Coopers Lane Road (TL 27285 01362)	4.66Ha	Wildlife Site - R12 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 16 Ecology and Landscape	Good	✓	✓	✓ Recreational Value, Wildlife	Five Acre Wood shares many of the great qualities of neighbouring Fir and Pond Woods
g) Griffins Hole (Well)	Well Road (TL 27220 03230)	0.05Ha	Wildlife Site - R12 Site of Special Scientific Interest - R13 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 15 - Heritage	Good	✓	✓	✓ Heritage Value	Griffins Hole (Well), this is located at the end of a short footpath, it has historical value.
h) Home Wood	Tolmers Road (Hill Rise end) or Carbone Hill (TL 29695 03896)	23.4Ha	Wildlife Site - R12 Northaw Great Wood Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 15 - Heritage	Good	✓	✓	✓ Recreational Value, Wildlife, Heritage Value	Once part of Northaw Common which can trace its ownership back to St Albans Abbey in Norman times. Owned by the Parish Council.
i) King George V Playing Fields	B156, Cuffley (TL 30240 02037)	5.43Ha	Area of Archaeological Significance - R29 Theobalds Estate Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 6 - Community Services and Facilities; SADM 7 - New Community Services and Facilities, and Losses of Community Services and Facilities; and SP 11 - Protection and Enhancement of Critical Environmental Assets	Good	✓	✓	✓ Recreational Value	Large sports and leisure facility which serves both Northaw and Cuffley. This is an important resource in terms of sport, recreation and open space. Includes woodland in North East corner.

	Location (OS Grid Coordinates)	Site Area	Relevant Local Plan Designations and emerging policies	Quality and Condition	Planning Permission Status	Proximity to Community	Local Significance	Description
j) Millennium Gardens, Maynard Place	Maynard Place, Cuffley (TL 27829 02303)	0.019Ha	Draft Policies: SADM 17 - Urban Open Land and SP 11 - Protection and Enhancement of Critical Environmental Assets	Good	✓	✓	✓ Tranquillity, Recreational Value	The site consists of strip of designed and landscaped open space within the retail area, providing rest space for shoppers.
k) Millennium Gardens, Northaw	B156, Northaw (TL 28084 02159)	0.13Ha	Conservation Area - R22, R23, R24 Area of Archaeological Significance - R29 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 15 Heritage	Good	✓	✓	✓ Tranquillity, Recreational Value	The site is used recreationally as a garden space and provides a green buffer between residents and the B156 road.
l) Northaw Community Gardens	B156, Northaw (TL 28051 02235)	0.025Ha	Area of Archaeological Significance - R29 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SADM 7 - New Community Services and Facilities, and Losses of Community Services and Facilities, SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 16 - Ecology and Landscape	Poor	✓	✓	✓ Wildlife, Tranquillity, Recreational Value	The site is accessed through the Northaw Village Hall car park. Includes a pond in western portion (currently inaccessible).
m) Northaw Community Orchards and Scout Hut	B156, Northaw (TL 28221 02232)	1.18Ha	Area of Archaeological Significance - R29 Wildlife Site - R12 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 6 - Community Services and Facilities, SADM 7 - New Community Services and	Good	✓	✓	✓ Wildlife, Tranquillity, Recreational Value	Community Orchard site providing outdoor space for residents across two fields with approximately 80 fruit and nut trees. Larger field is a Nature Reserve and valuable habitat. Local events are held on these sites.

	Location (OS Grid Coordinates)	Site Area	Relevant Local Plan Designations and emerging policies	Quality and Condition	Planning Permission Status	Proximity to Community	Local Significance	Description
			Facilities, and Losses of Community Services and Facilities, SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 16 Ecology and Landscape.					
n) Northaw Great Wood	B157, Northaw (TL 28257 04013)	127Ha	Wildlife Site - R12 Site of Special Scientific Interest - R13 Northaw Great Wood Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 16 Ecology and Landscape	Good	✓	✓	✓ Wildlife, Tranquillity, Recreational Value, Beauty	A key and defining local asset loved by residents and visitors alike. One of Hertfordshire's largest and most important oak woodlands which lies to the west of Cuffley and can be freely explored (apart from a small amount of protected species areas). A great diversity of tree species and wildlife which include birds, small mammals, butterflies and insects. Originally it was part of the 'wood of Northaw' back in the Norman period, when wild boar and deer roamed and were hunted. This area was as part of large area of the Northaw Common. After different uses in history, the land was finally purchased in 1937 jointly by the then London County Council and Hertfordshire CC for public enjoyment. Today the area is owned by Welwyn Hatfield Borough Council and it is managed by Friends of the Great Wood.
o) Northaw Playing Fields	Vineyards Road, Northaw (TL 28163 02371)	0.94Ha	Area of Archaeological Significance - R29 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policies: SP 6 - Community Services and Facilities, SADM 7 - New Community Services and Facilities, and Losses of Community Services and Facilities, SP 11 - Protection and Enhancement of Critical Environmental Assets and SADM 16 - Ecology and Landscape	Mixed	✓	✓	✓ Recreational Value, Wildlife	Community used facility including: woodland area, a playground for children and recreation space for running and ball games. The site also has a tennis court, though it is currently in a state of disrepair.

	Location (OS Grid Coordinates)	Site Area	Relevant Local Plan Designations and emerging policies	Quality and Condition	Planning Permission Status	Proximity to Community	Local Significance	Description
p) Northaw Village Green	Northaw Road, Northaw (TL 27867 02307)	0.13Ha	Conservation Area - R22, R23, R24 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 15 - Heritage	Good	✓	✓	✓ Recreational Value, Heritage Value, Beauty	Site adjacent to St Thomas a Becket Church. A Grade 2 Listed Building built in 1881. A war memorial is located on the site.
q) Urban Green Spaces at Plough Hill Junction	Hill Rise, Cuffley (TL 30189 03096)	0.77Ha	Urban Open Land - OS1 Draft Policies: SADM 17 - Urban Open Land, SP 11 -Protection and Enhancement of Critical Environmental Assets and SADM 15 - Heritage	Good	✓	✓	✓ Tranquillity, Recreational Value, Heritage Value	A group of three grassed areas containing trees, low lying shrubs and seating at the Plough Hill Junction residential area. Open space and larger than normal grass verges providing a pleasant outlook to walkers and drivers, giving a feeling of openness and tranquillity as well as habitat and protection for wildlife. Includes a pump on a verge to the east of Plough Hill which is of historic value.
r) Ron North Pond	Judges Hill, Northaw (TL 27735 02386)	0.13Ha	Conservation Area - R22, R23, R24 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 15 - Heritage	Good	✓	✓	✓ Wildlife, Tranquillity, Heritage Value	Village pond site with pedestrian access off Judges Hill. Popular site for viewing wildlife, including Herons.
s) St Thomas a Becket Church and Cemeteries	Vineyards Road, Northaw (TL 27909 02370)	0.72Ha	Conservation Area - R22, R23, R24 Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 15 - Heritage	Good	✓	✓	✓ Tranquillity, Heritage Value	Graveyard to the north of St Thomas a Becket Church in Northaw maintained by the Parish Council; and the grounds of St Thomas a Becket Church.
t) Tolmers Activity Centre and Peters Wood	Tolmers Road (TL 30119 03919)	23.8Ha	Wildlife Site - R12 Ponsbourne and Tolmers Parkland Estates Landscape Character - RA10 Green Belt - GBSP1 Draft Policy SADM 7 - New Community Services and	Good	✓	✓	✓ Wildlife, Recreational Value	Tolmers Activity Centre has over 70 acres of camping fields and facilities managed by Hertfordshire Scouts. Peters Wood is currently leased to the scouts and is located adjacent to their camp area. It can only be accessed via the camp or from a few houses in Brookside crescent.

	Location (OS Grid Coordinates)	Site Area	Relevant Local Plan Designations and emerging policies	Quality and Condition	Planning Permission Status	Proximity to Community	Local Significance	Description
			Facilities, and Losses of Community Services and Facilities					
u) The Ridgeway	The Ridgeway (TL 28372 03777)	0.208Ha	Northaw Common Parkland Landscape Character Area - RA10 Green Belt - GBSP1 Draft Policy SADM 17 - Urban Open Land	Good	✓	✓	✓ Wildlife	A long fairly wide stretch of verge with trees and shrubs. An important piece of land for encouraging biodiversity.



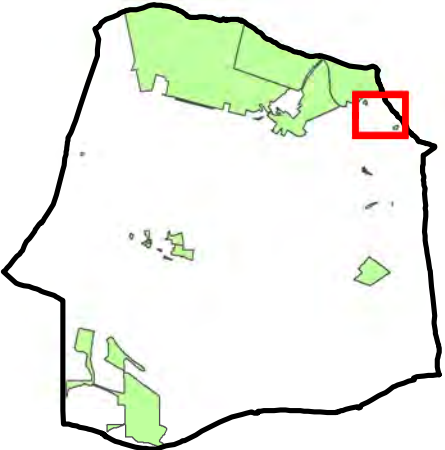
AECOM

PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND
 Northaw and Cuffley Parish
 Local Green Space



1:80,000 @ A3
0 0.5 1 km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(A) Brookside Crescent
Page 1 of 21

1:1,560 @ A3
0 20 40 m

FIGURE
A

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale. This document, its contents and any measurements must be obtained from the stated dimensions.




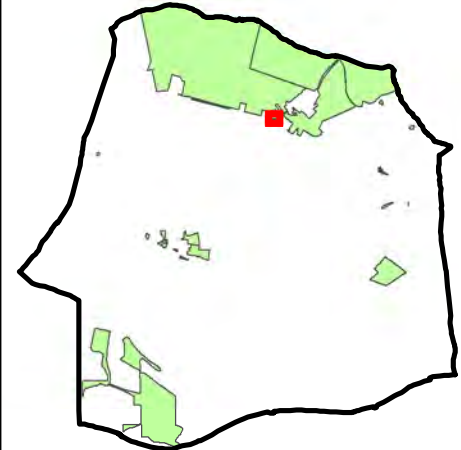
PROJECT
 Northaw and Cuffley
 Neighbourhood Plan

CLIENT
 Northaw and Cuffley Parish
 Council

CONSULTANT
 AECOM Limited
 Sunley House
 4 Bedford Park
 Croydon, CR0 2AP
 www.aecom.com

LEGEND

-  Northaw and Cuffley Parish Boundary
-  Local Green Space



1:80,000 @ A3
 0.5 0 0.5 1
 km

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022.Ordnance Survey 0100031673.

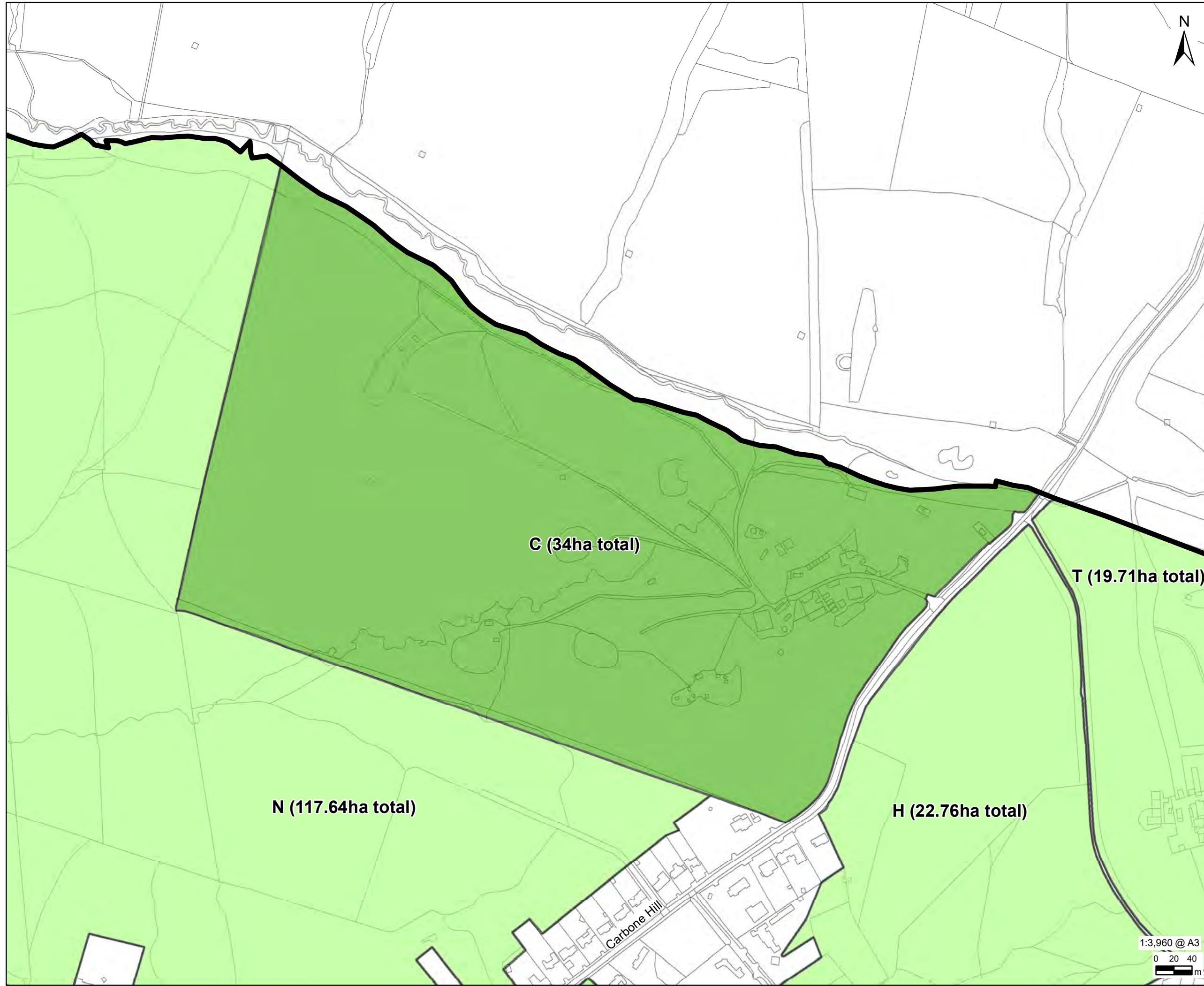
ISSUE PURPOSE
 FINAL

PROJECT NUMBER
 60645898

FIGURE TITLE
 (B) Carbone Hill
 Page 2 of 21

FIGURE
 B

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.

AECOM

PROJECT

Northaw and Cuffley Neighbourhood Plan



CLIENT

Northaw and Cuffley Parish Council

CONSULTANT

AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

-  Northaw and Cuffley Parish Boundary
-  Local Green Space



1:80,000 @ A3
0 0.5 1 km

NOTES

Contains Ordnance Survey Data © Crown Copyright and database right 2022. © Crown copyright and database rights 2022. Ordnance Survey 0100031673.

ISSUE PURPOSE

FINAL

PROJECT NUMBER

60645898

FIGURE TITLE

(C) Cuffley Camp
Page 3 of 21

FIGURE

C

1:3,960 @ A3
0 20 40 m



AECOM

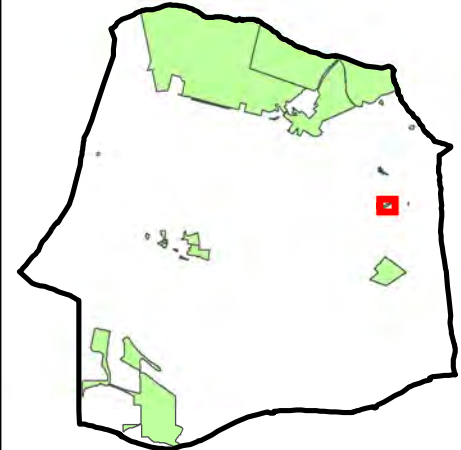
PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space

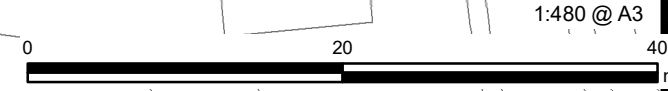


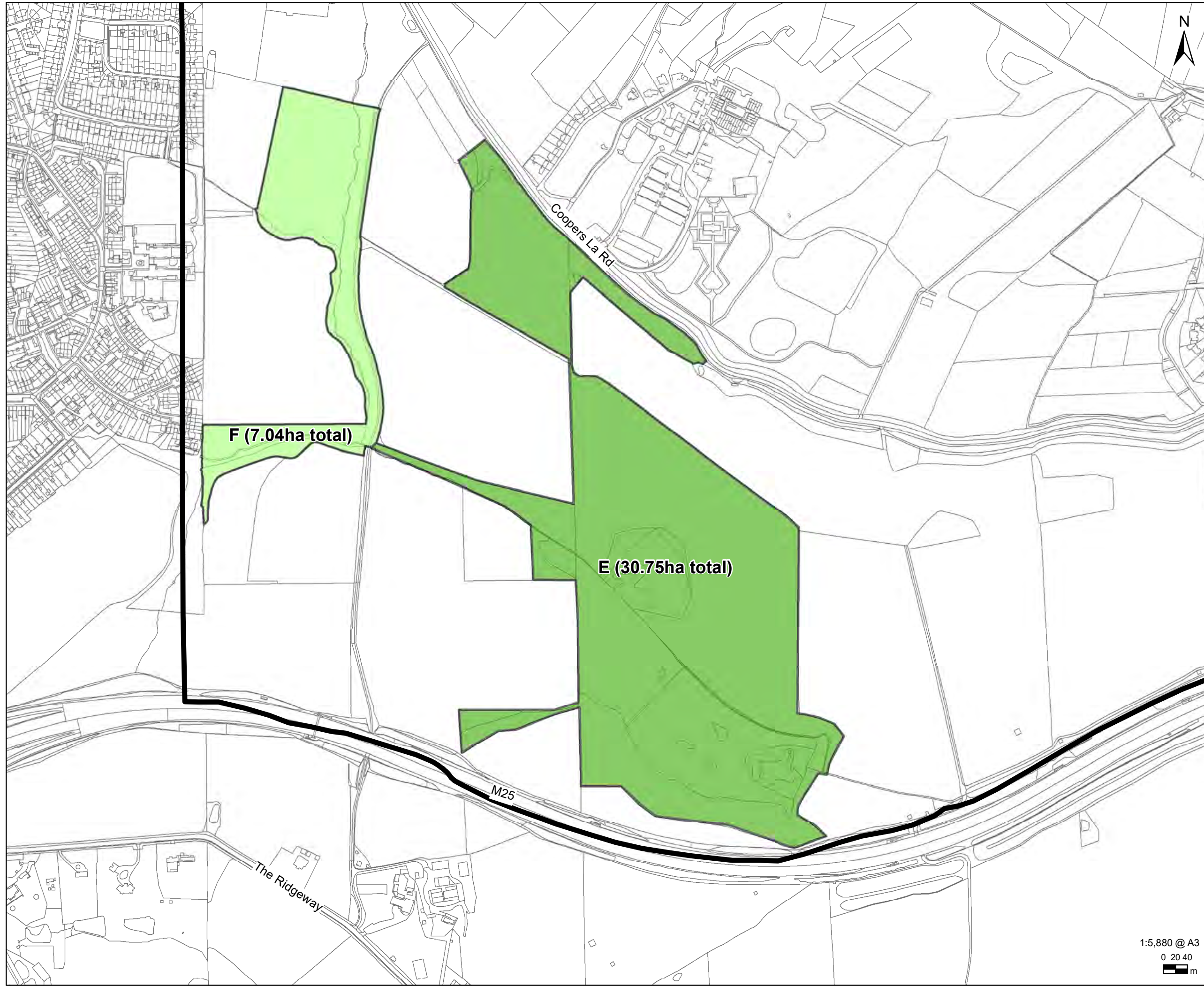
1:80,000 @ A3
 0.5 0 0.5 1
 km

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
 FINAL
PROJECT NUMBER
 60645898
FIGURE TITLE
 (D) Cuffley Scout Group, Church
 Close Lane
 Page 4 of 21

FIGURE
 D





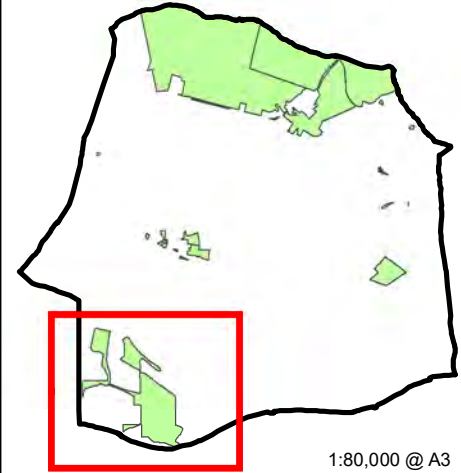
PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
0 0.5 1
km

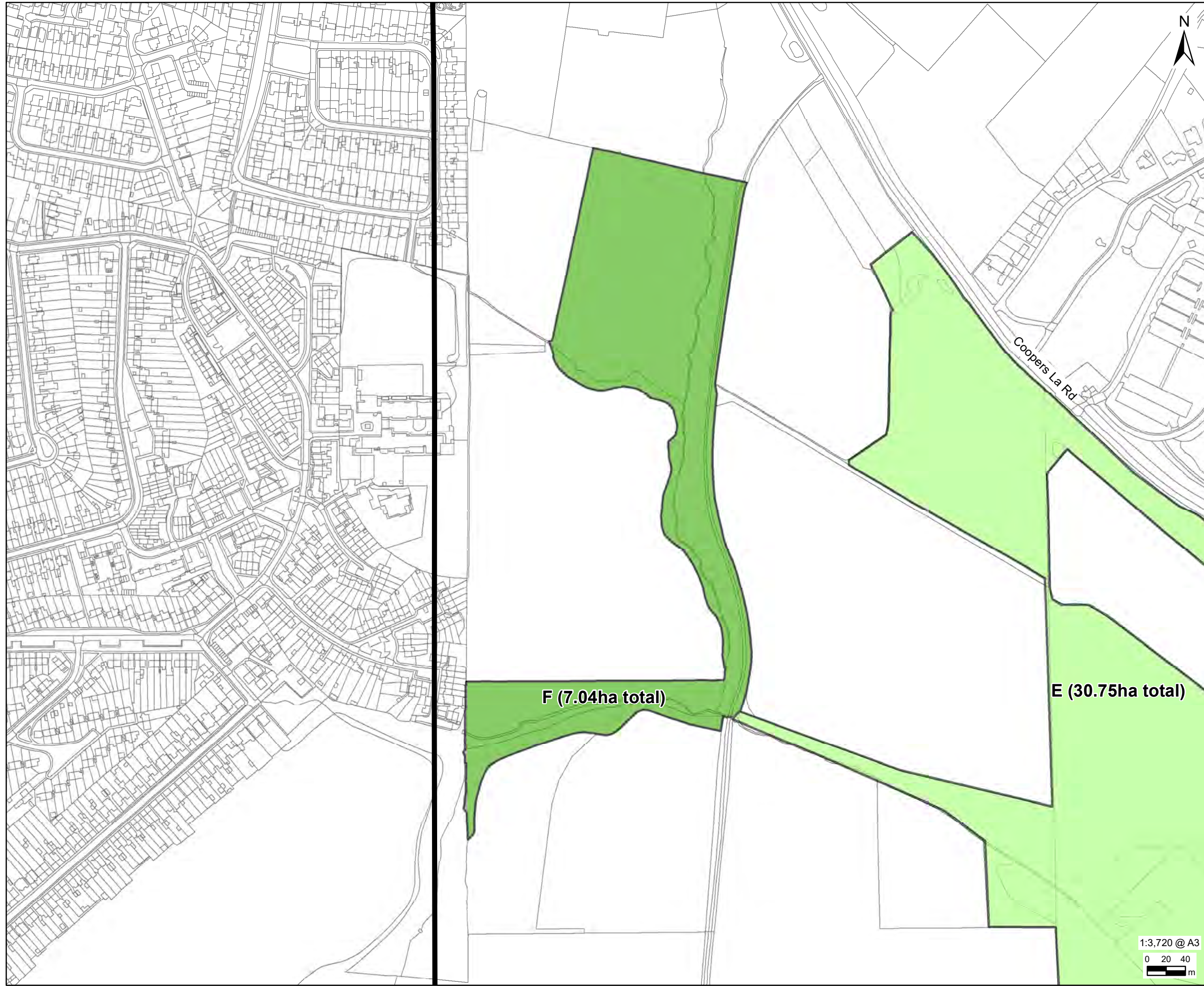
NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(E) Fir and Pond Woods
Page 5 of 21

FIGURE
E

1:5,880 @ A3
0 20 40
m

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale. This document and its contents must be obtained from the stated dimensions.



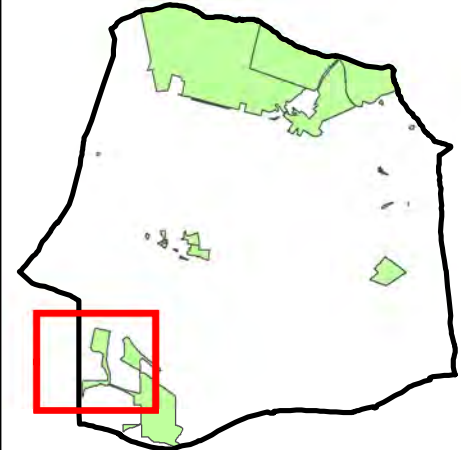
PROJECT
 Northaw and Cuffley
 Neighbourhood Plan

CLIENT
 Northaw and Cuffley Parish
 Council

CONSULTANT
 AECOM Limited
 Sunley House
 4 Bedford Park
 Croydon, CR0 2AP
 www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
 0.5 0 0.5 1
 km

F (7.04ha total)

E (30.75ha total)

1:3,720 @ A3
 0 20 40
 m

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
 FINAL
PROJECT NUMBER
 60645898
FIGURE TITLE
 ((F) Five Acre Wood
 Page 6 of 21

FIGURE
 F

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale. All measurements must be obtained from the stated dimensions.





AECOM

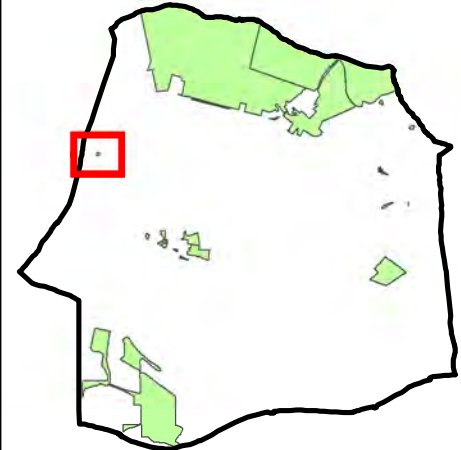
PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

-  Northaw and Cuffley Parish Boundary
-  Local Green Space



1:80,000 @ A3
0 0.5 1 km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL

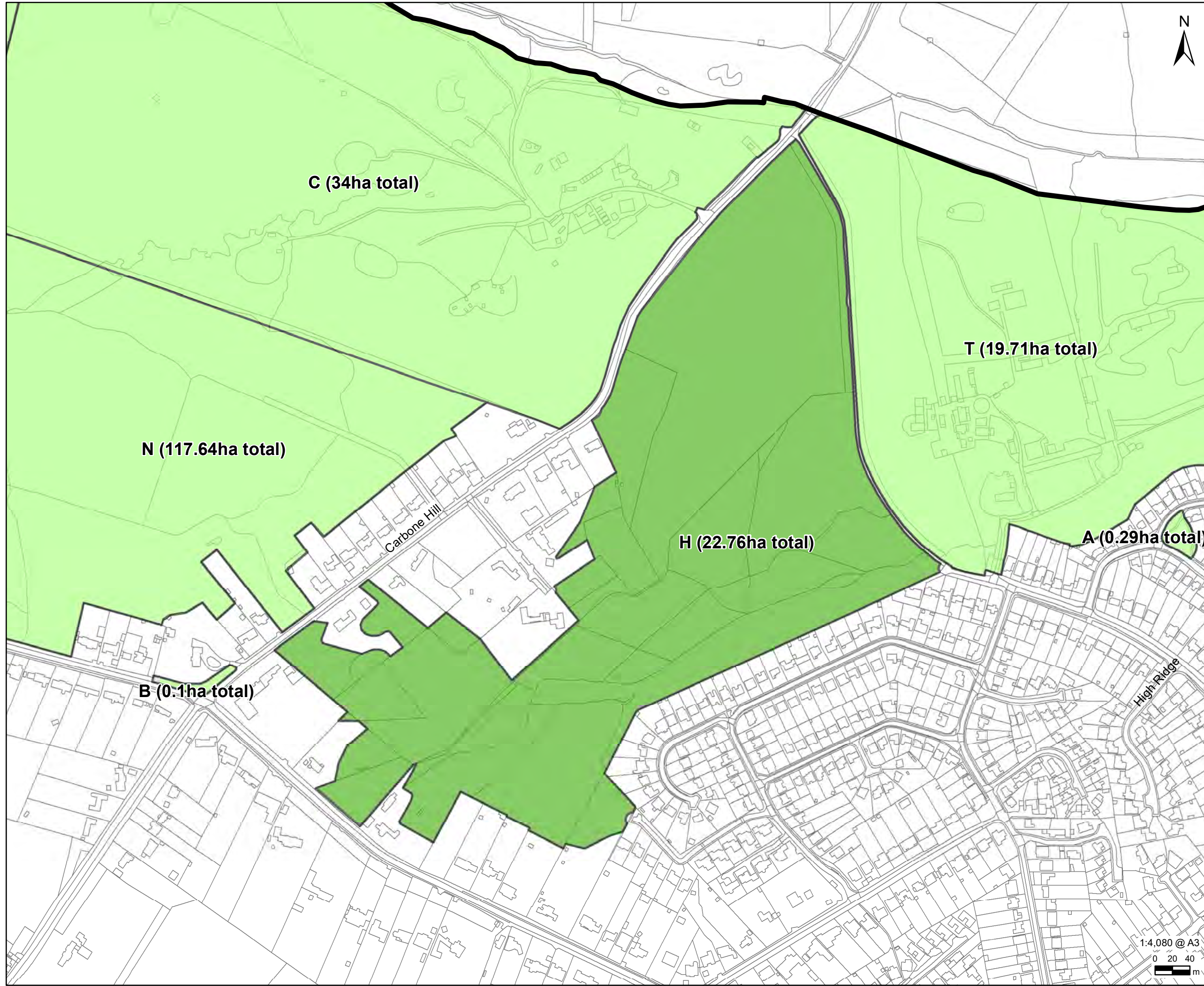
PROJECT NUMBER
60645898

FIGURE TITLE
(G) Griffins Hole (Well)
Page 7 of 21

1:1,500 @ A3
0 20 40 m

FIGURE
G

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND
 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
0.5 0 0.5 1
km

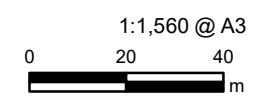
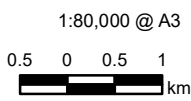
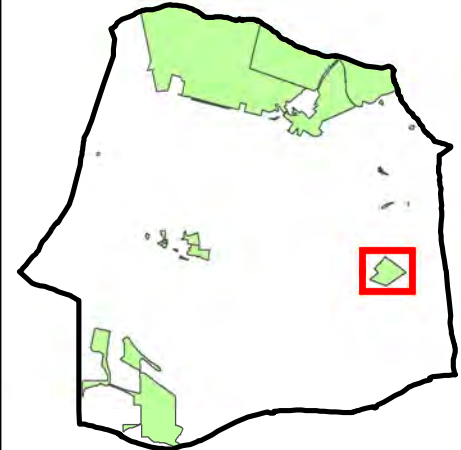
NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(H) Home Wood
Page 8 of 21

FIGURE
H

1:4,080 @ A3
0 20 40
m

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale. This document is for information only. All measurements must be obtained from the stated dimensions.



NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL

PROJECT NUMBER
60645898

FIGURE TITLE
(I) King George V Playing Fields
Page 9 of 21

FIGURE
I

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



AECOM

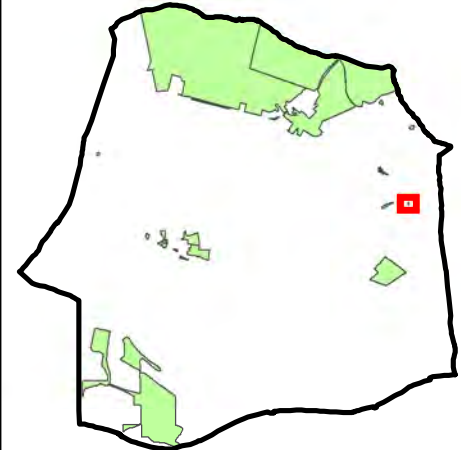
PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
 0.5 0 0.5 1
 km

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
 FINAL
PROJECT NUMBER
 60645898
FIGURE TITLE
 (J) Millennium Gardens, Maynard
 Place Page 10 of 21

0 20 40
 m
 1:500 @ A3

FIGURE
 J



This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale. All measurements must be obtained from the stated dimensions.

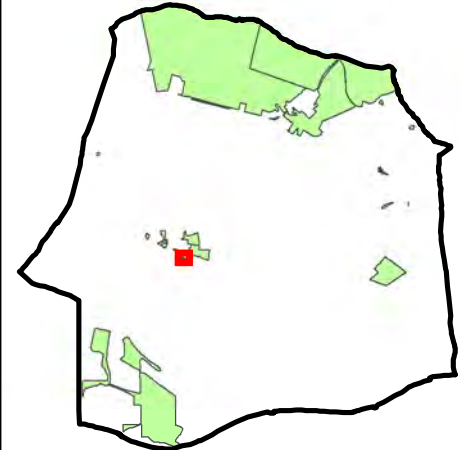


PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND
 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
0 0.5 1 km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(K) Millennium Gardens, Northaw
Page 11 of 21

1:360 @ A3
0 20 40 m

FIGURE
K

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



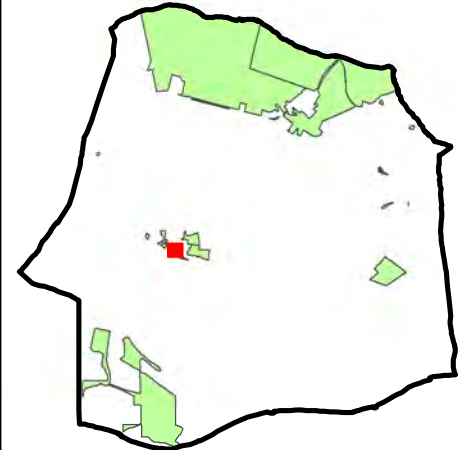
PROJECT
 Northaw and Cuffley
 Neighbourhood Plan

CLIENT
 Northaw and Cuffley Parish
 Council

CONSULTANT
 AECOM Limited
 Sunley House
 4 Bedford Park
 Croydon, CR0 2AP
 www.aecom.com

LEGEND

-  Northaw and Cuffley Parish Boundary
-  Local Green Space



1:80,000 @ A3
 0 0.5 1
 km

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
 FINAL

PROJECT NUMBER
 60645898

FIGURE TITLE
 (L) Northaw Community Gardens
 Page 12 of 21

FIGURE
 L

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.




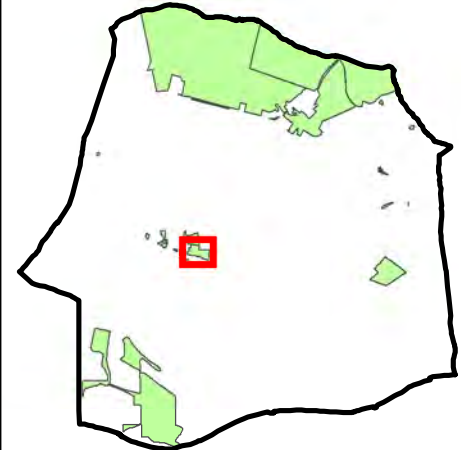
PROJECT
 Northaw and Cuffley
 Neighbourhood Plan

CLIENT
 Northaw and Cuffley Parish
 Council

CONSULTANT
 AECOM Limited
 Sunley House
 4 Bedford Park
 Croydon, CR0 2AP
 www.aecom.com

LEGEND

-  Northaw and Cuffley Parish Boundary
-  Local Green Space



1:80,000 @ A3
 0.5 0 0.5 1
 km

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
 FINAL

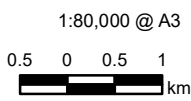
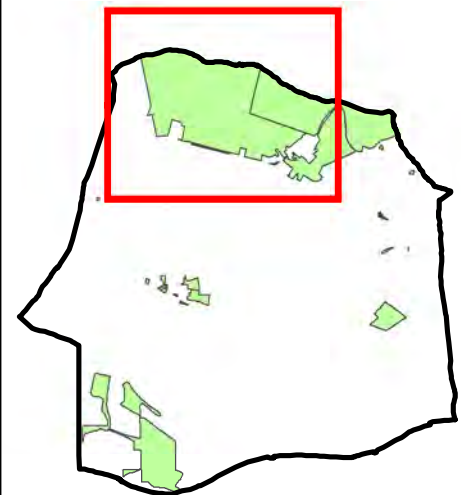
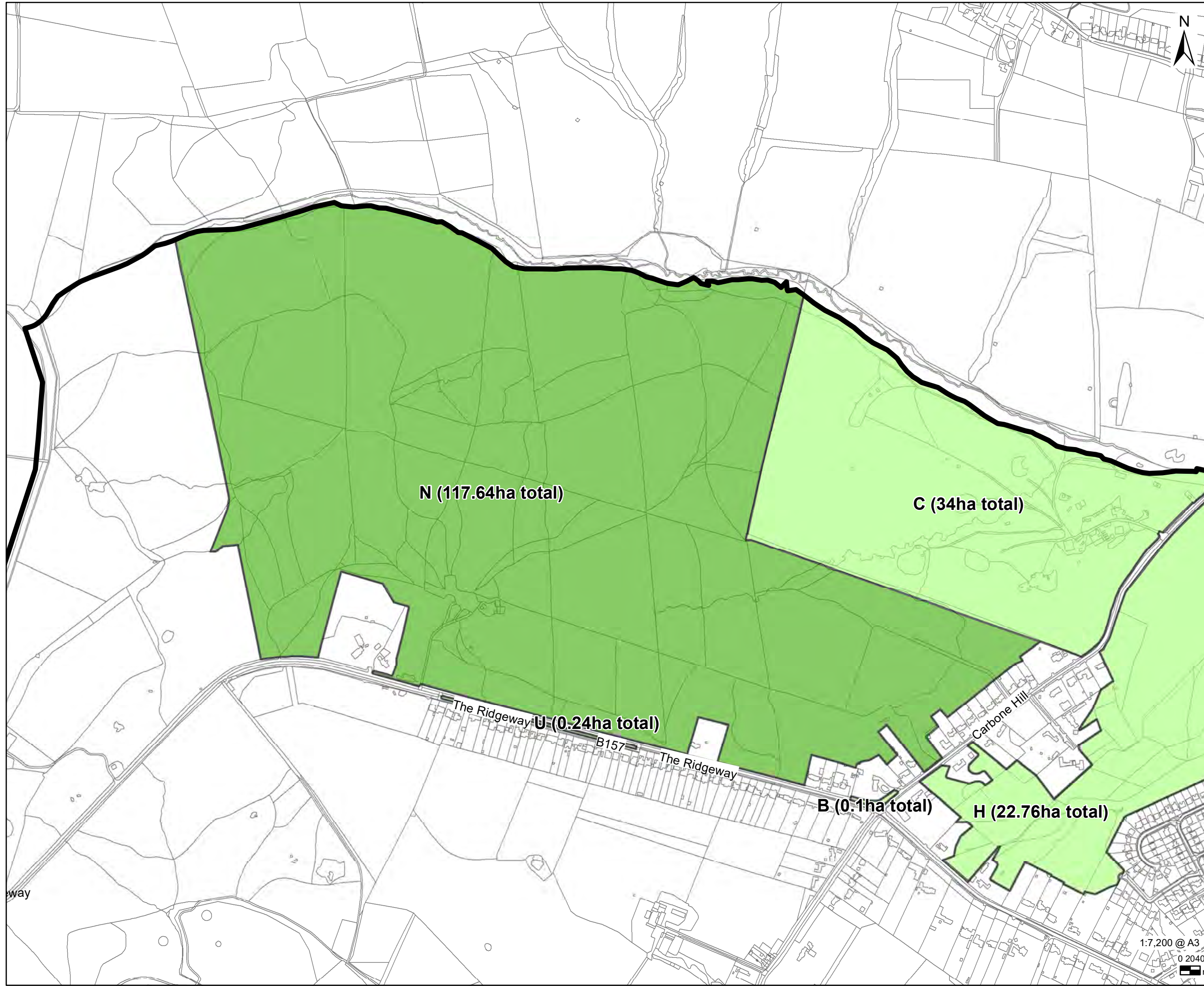
PROJECT NUMBER
 60645898

FIGURE TITLE
 (M) Northaw Community Orchards
 and Scout Hut
 Page 13 of 21

1:960 @ A3
 0 20 40
 m

FIGURE
 M

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



NOTES

Contains Ordnance Survey Data © Crown Copyright and database right 2022. © Crown copyright and database rights 2022. Ordnance Survey 0100031673.

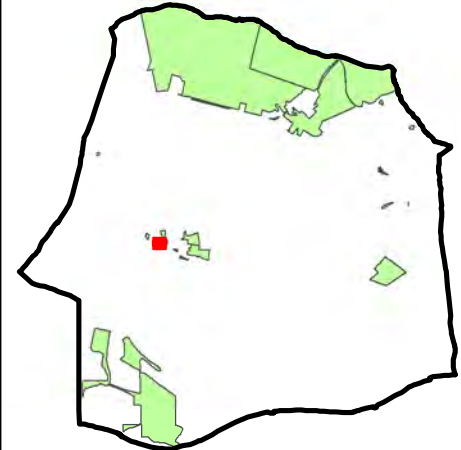
ISSUE PURPOSE
FINAL

PROJECT NUMBER
60645898

FIGURE TITLE
(N) Northaw Great Wood
Page 14 of 21

FIGURE
N





NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL

PROJECT NUMBER
60645898

FIGURE TITLE
(P) Northaw Village Green
Page 16 of 21

FIGURE
P

1:240 @ A3



This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



AECOM

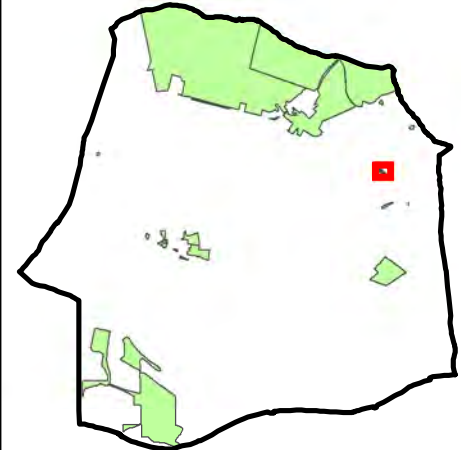
PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
0 0.5 1 km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(Q) Urban Green Spaces at Plough
Hill Junction
Page 17 of 21

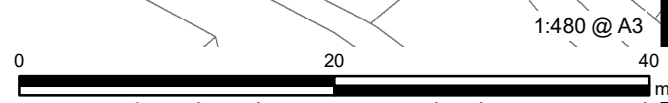


FIGURE
Q



AECOM

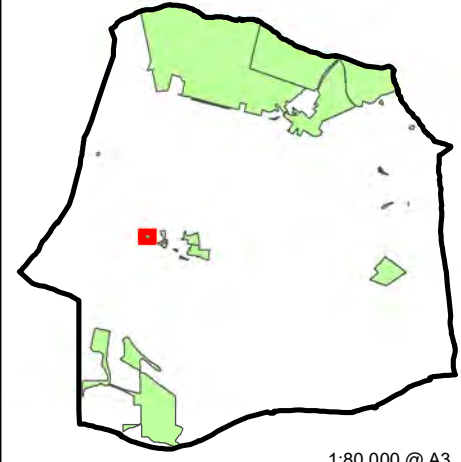
PROJECT
 Northaw and Cuffley
 Neighbourhood Plan

CLIENT
 Northaw and Cuffley Parish
 Council

CONSULTANT
 AECOM Limited
 Sunley House
 4 Bedford Park
 Croydon, CR0 2AP
 www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
 0 0.5 1
 km

NOTES
 Contains Ordnance Survey Data © Crown
 Copyright and database right 2022. © Crown
 copyright and database rights
 2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
 FINAL
PROJECT NUMBER
 60645898
FIGURE TITLE
 (R) Ron North Pond
 Page 18 of 21

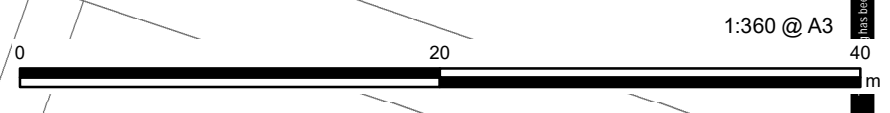


FIGURE
 R

has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



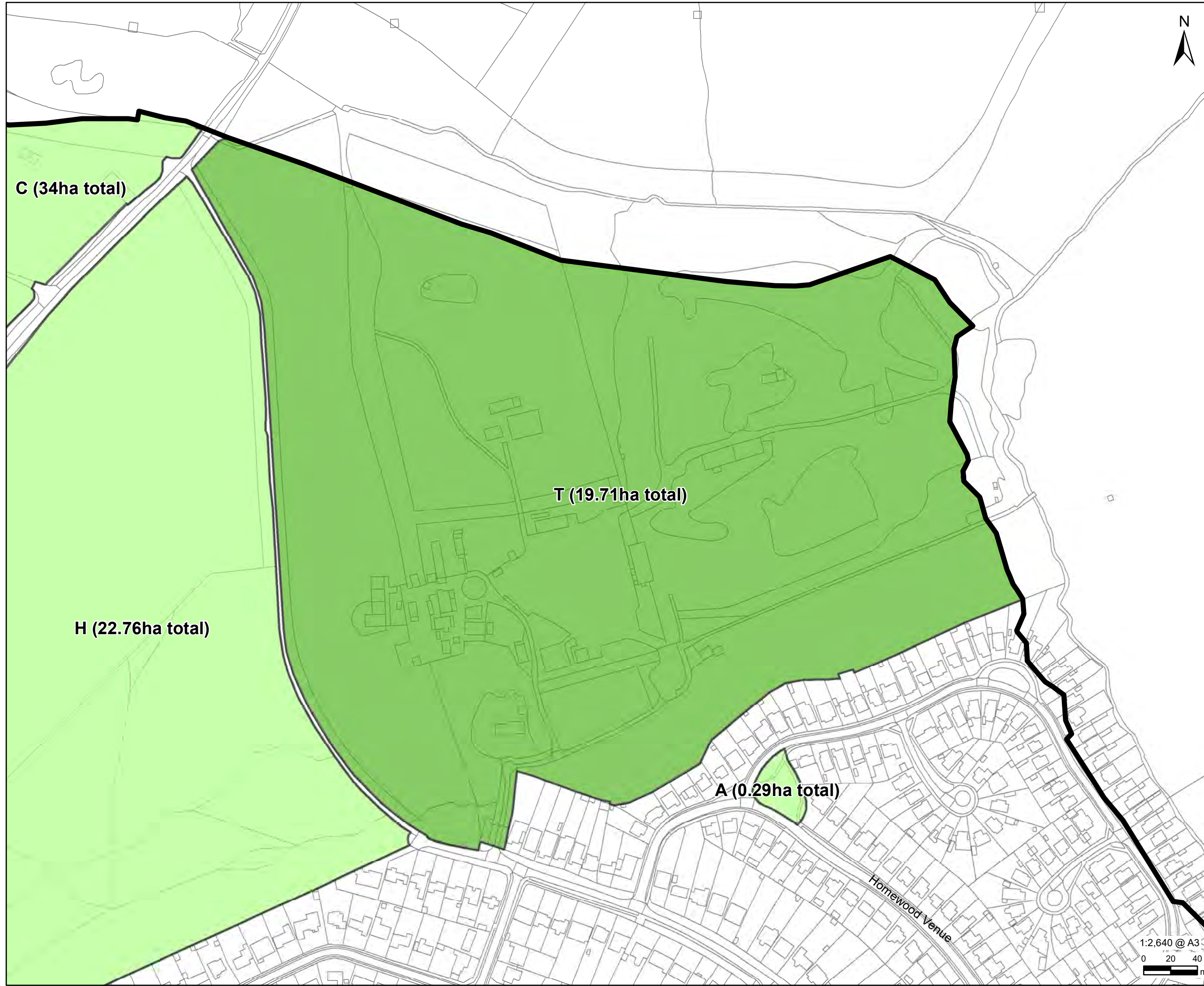
1:80,000 @ A3
0 0.5 1 km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(S) St Thomas a Becket Church and
Cemeteries
Page 19 of 21

1:960 @ A3
0 20 40 m

FIGURE
S





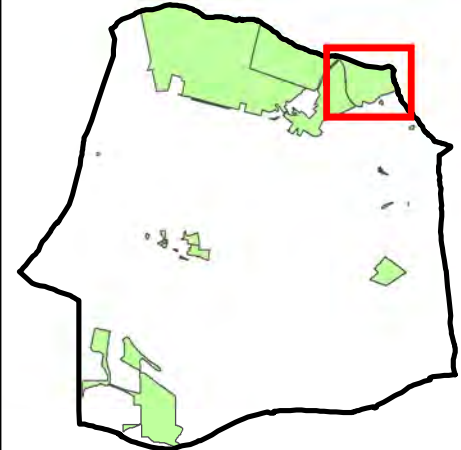
AECOM

PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND
 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
0.5 0 0.5 1
km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022. Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(T) Tolmers Activity Centre and
Peters Wood
Page 20 of 21

1:2,640 @ A3
0 20 40
m

FIGURE
T

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.



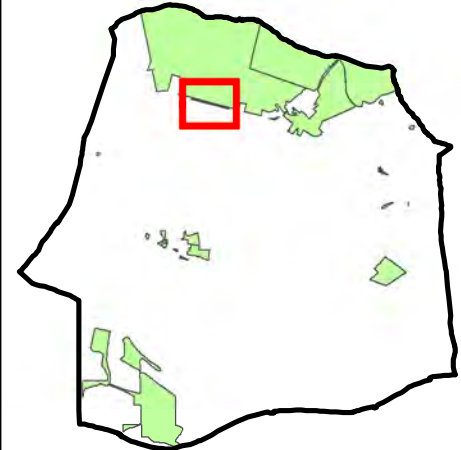
PROJECT
Northaw and Cuffley
Neighbourhood Plan

CLIENT
Northaw and Cuffley Parish
Council

CONSULTANT
AECOM Limited
Sunley House
4 Bedford Park
Croydon, CR0 2AP
www.aecom.com

LEGEND

 Northaw and Cuffley Parish Boundary
 Local Green Space



1:80,000 @ A3
0 0.5 1 km

NOTES
Contains Ordnance Survey Data © Crown
Copyright and database right 2022. © Crown
copyright and database rights
2022.Ordnance Survey 0100031673.

ISSUE PURPOSE
FINAL
PROJECT NUMBER
60645898
FIGURE TITLE
(U) The Ridgeway
Page 21 of 21

1:1,680 @ A3
0 20 40 m

FIGURE
U

This drawing has been prepared for the use of AECOM's client. It may not be used, modified, reproduced or relied upon by third parties, except as agreed by AECOM or as required by law. AECOM accepts no responsibility, and denies any liability whatsoever, to any party that uses or relies on this drawing without AECOM's express written consent. Do not scale this document. All measurements must be obtained from the stated dimensions.

aecom.com